

SPECIAL ORDINANCE NO. 38, 2024

APPLICATION FOR REZONING PETITION CITY OF TERRE HAUTE

Common Address of lots to be rezoned:

1705 N. 7th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-007.000-002

720 Beech St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-009.000-002

1701 N. 7th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-008.000-002

1707 N. 7th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-006.000-002

1715 N. 7th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-005.000-002

1700 N. 8th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-018.000-002

1704 N. 8th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-017.000-002

1708 N. 8th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-016.000-002

1716 N. 8th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-015.000-002

Current Zoning:

R-2 Two-Family Residence District
C-1 Neighborhood Commerce District

Rezone To:

C-2 Community Commerce District

Proposed Use:

Parking lot

Name of Owner:

Union Hospital Inc.
1606 North 7th Street
Terre Haute, IN 47804

Phone Number of Owner

c/o (812) 234-5463

Attorney Representing Owner:

Darrell E. Felling II

Address of Attorney:

Lind & Felling
400 Ohio Street, Terre Haute, IN 47807

For Information Contact:

☐ Owner

☒ Attorney

Council Sponsor:

James P. Chalos

COPY OF A SITE-PLAN MUST ACCOMPANY THIS APPLICATION

NOV 01 2024

SPECIAL ORDINANCE NO. 38, 2024**CITY CLERK**

An Ordinance Amending Chapter 10, Article 2 of the Municipal Code designated as "Comprehensive Zoning Ordinance for Terre Haute Indiana."

SECTION 1. BE IT ORDAINED BY THE COMMON COUNCIL of the City of Terre Haute, Vigo County, State of Indiana, that Chapter 10, Article 2 of the City Code of Terre Haute, designated as the "Comprehensive Zoning Ordinance for Terre Haute" and Division 4, Section 10-121 thereof, District Maps, be, and the same is hereby amended to include as follows:

That the following described real estate situated in the City of Terre Haute, County of Vigo, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW ¼) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number 4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West

quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

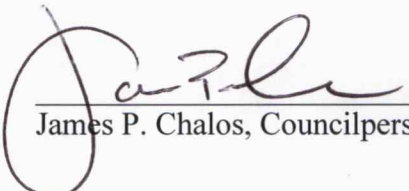
PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

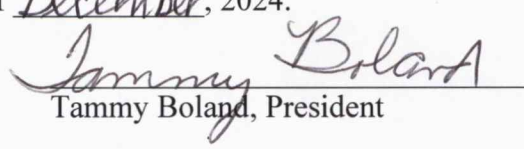
be and the same is, hereby established as C-2 Community Commerce District, together with all rights and privileges that may inure to said real estate and the owners thereof by virtue of the law in such cases provided, subject to all limitations and restrictions imposed thereon by deed or otherwise.

SECTION II. WHEREAS, an emergency exists for the immediate taking effect of this Ordinance, the same shall be in full force and effect from and after its passage by the Common Council of Terre Haute, and its approval by the Mayor and publication as by law provided.

Introduced by Council Member,


James P. Chalos, Councilperson

Passed in open Council this 5 day of December, 2024.


Tammy Boland, President

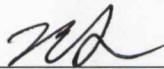
ATTEST:


Michelle Edwards, City Clerk

Presented by me, to the Mayor of the City of Terre Haute, this 6th day of December 2024,
at 2:20 p.m.


Michelle Edwards, City Clerk

Approved by me, the Mayor of the City of Terre Haute, this 6th day of December 2024.


Brandon Sakbun, Mayor

ATTEST:


Michelle Edwards, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law.

/s/ Darrell E. Felling II
Darrell E. Felling II

PETITION TO REZONE REAL PROPERTY

TO: THE PRESIDENT AND MEMBERS OF THE COMMON COUNCIL OF THE CITY
OF TERRE HAUTE, INDIANA;

and THE PRESIDENT AND MEMBERS OF THE AREA PLANNING COMMISSION OF
VIGO COUNTY, INDIANA.

LADIES and GENTLEMEN:

The undersigned, on behalf of Union Hospital Inc., respectfully submits this Petition to Rezone the following described real estate in the City of Terre Haute, Vigo County, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW ¼) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number

4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

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Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

The Petitioner is informed and believes that in accordance with Chapter 10, known and referred to as The Comprehensive Zoning Ordinance for Terre Haute, as amended, the above described real estate is now zoned as R-2 Two-Family Residence District or C-1 Neighborhood Commerce District.

Your Petitioner would respectfully state that the real estate is now unoccupied. Your Petitioner intends to use the real estate as a parking lot.

Your Petitioner would request that the real estate described herein shall be zoned as a C-2 Community Commerce District. Your Petitioner would allege that the C-2 Community Commerce District zoning classification would not alter the general characteristics of this neighborhood.

Your Petitioner would respectfully show the proposed change would not be detrimental to the public welfare or injurious to the property or improvements in the neighborhood.

WHEREFORE, your Petitioner respectfully requests that the Area Planning Commission and the Common Council of the City of Terre Haute, Indiana, favorably consider the passage of a Special Ordinance amending the District Maps of Chapter 10, of the Terre Haute City Code entitled The Comprehensive Zoning Ordinance for Terre Haute, Section 10-121 District Maps and declaring the above-described real estate to be part of the C-2 Community Commerce District of the City of Terre Haute, Indiana, and is entitled to the rights and benefits that may accrue to the real estate and the owner thereof by virtue of the new designation subject to all limitations imposed by deed or otherwise.

IN WITNESS WHEREOF, the undersigned Petitioner has caused this Petition to Rezone Real Property to be executed, this 28th day of October, 2024.

PETITIONER:



Mike Mullins, CHFM, CHSP
System Director of Facilities
Union Hospital Inc.
1606 North 7th Street
Terre Haute, IN 47804

Lind & Felling
400 Ohio Street
Terre Haute, IN 47808
Phone: (812) 232-3388

BY: /s/ Darrell E. Felling II
Darrell E. Felling II #30608-84
Attorney for Petitioner

The owner and mailing address: Union Hospital Inc.
1606 North 7th Street
Terre Haute, IN 47804

This instrument prepared by Darrell E. Felling II, Lind & Felling, 400 Ohio Street, Terre Haute,

Indiana 47807.
STATE OF INDIANA)
) SS:
COUNTY OF VIGO)

AFFIDAVIT

Comes now, Mike Mullins, for and on behalf of Union Hospital Inc., being duly sworn upon his oath, deposes and says:

1. That Union Hospital Inc. is the fee simple owner of record of the following described real estate located in the City of Terre Haute, County of Vigo, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

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All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencers Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot

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Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

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PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

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All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

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All located in Harrison Township, Vigo County, State of Indiana.

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Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

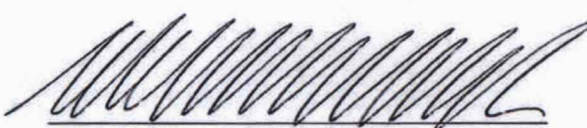
Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

2. That copies of the Deeds, recorded in the records of the Recorder's Office of Vigo County, Indiana, transferring fee simple title to Union Hospital Inc. are attached hereto and made a part hereof and marked as Exhibit A.

3. That Affiant makes this Affidavit for the sole purpose of affirming that Union Hospital Inc. is the owner of record of the above-described real estate for which a proposed change to the zoning map of the City of Terre Haute, Indiana, has been filed and to induce the Common Council of the City of Terre Haute, Indiana, to accept the Petition to Rezone Real Property as filed by Mike Mullins, for and on behalf of Union Hospital Inc..

4. Further, Affiant saith not.

Dated at Terre Haute, Indiana, this 28th day of October, 2024.


Mike Mullins, CHFM, CHSP
System Director of Facilities
Union Hospital Inc.

STATE OF INDIANA)
) SS:
COUNTY OF VIGO)



SUBSCRIBED AND SWORN TO before me, a Notary Public in and for said County and State, Mike Mullins appeared in person and executed said document, this 28th day of Oct 2024.

Amee Forsythe
Amee Forsythe, Notary Public

My Commission expires:
5/14/2025

My County of Residence:
Vermillion

NOV 13 1997

Frederick Anderson AUDITOR
VIGO COUNTY

017716

RECORDED FOR RECORD

97 NOV 13 1997

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT DALE WALTON and TARA WALTON, individually and as husband and wife, of Vigo County, in the State of Indiana ("Grantors") CONVEY AND WARRANT TO UNION HOSPITAL, INC., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW 1/4) of Section 15, Township 12 North, Range 9 West.

(Commonly known as 1700 North 8th Street, Terre Haute, Indiana 47804)

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 12th day of November, 1997.

Dale Walton

Dale Walton

Tara Walton

Tara Walton

"GRANTORS"

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 12th day of November, 1997, personally appeared Dale Walton and Tara Walton, individually and as husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

B. Curtis Wilkinson

Notary Public

My Commission Expires:

February 9, 2000

Printed Name: B. Curtis Wilkinson

Resident of Vigo County, Indiana



THIS INSTRUMENT PREPARED BY:

Any B. Curtis Wilkinson
333 Ohio St., P.O. Box 800
Terre Haute, IN 47808

MAIL TAX DUPLICATES TO:

Union Hospital, Inc.
ATTN: INTERNAL AUDIT
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

RECEIVED FOR RECORD
AT 4:12 O'CLOCK PM
RECORD 412 PAGE 4196


1997

Paul Mason

RECORDED VIGO COUNTY

MAY 28 2019


JAMES W. BRUMBY
VIGO COUNTY AUDITOR

2019005348 WD \$25.00
05/28/2019 02:27:27P 2 PGS
Stacey Todd
VIGO County Recorder IN
Recorded as Presented


WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT **Beverly B. Grubb**, surviving spouse of David W. Grubb, of Terre Haute, Indiana ("Grantor") CONVEYS AND WARRANTS TO **Union Hospital, Inc.**, an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

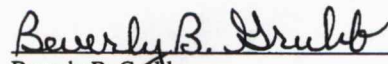
Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

(Commonly known as 1716 North 8th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Beverly B. Grubb who took title with her now deceased husband, David W. Grubb, to the above-described real estate by a Warranty Deed dated June 27, 1984, and recorded on June 28, 1984, at Deed Record 397, Page 468, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Beverly B. Grubb and David W. Grubb continued unbroken from the time they so acquired title to said real estate until the death of David W. Grubb on October 13, 2018, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 28th day of May, 2019.

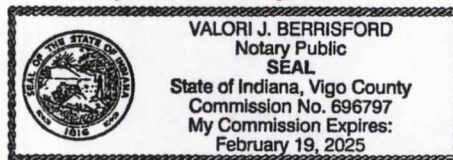

Beverly B. Grubb

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 28th day of May, 2019, personally appeared Beverly B. Grubb and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Berrisford



THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

WARRANTY DEED

511

THIS INDENTURE WITNESSETH, That Eric J. Bennett, of Vigo County, State of Indiana, CONVEYS AND WARRANTS to Union Hospital, Inc., a not-for-profit corporation organized and existing under the laws of the State of Indiana, 1606 North Seventh Street, Terre Haute, Indiana 47804, for and in consideration of the sum of One and No/100 (\$1.00) Dollar and other valuable consideration, the receipt of which is hereby acknowledged, the following described Real Estate in Vigo County, in the State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

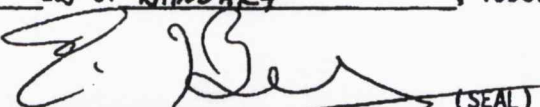
Grantor represents and warrants that he is one and the same person as the Eric Bennett who took title to the above real estate by Warranty Deed from Edgar A. Stapleton and Alice L. Stapleton, which Warranty Deed was dated November 12, 1985, and was recorded in the Recorder's Office of Vigo County, Indiana, on December 20, 1989, at Book Number 403, Page 678.

Grantor further represents and warrants that he is one and the same person as the Eric J. Bennett who, together with Ronald E. Leach, Ed M. Stone and Randall J. Smith d/b/a Erre Investment Company, were contract buyers under a certain contract originally made between Edgar A. Stapleton and Alice L. Stapleton as sellers and such parties as buyers on December 19, 1981. That the said Ronald E. Leach, Ed M. Stone and Randall J. Smith did assign all of their rights, title and interest to such land contract to Eric J. Bennett by a certain Assignment of Conditional Real Estate Sales Contract dated January 1, 1985.

IN WITNESS WHEREOF, The said Grantor, Eric J. Bennett, has hereunto set his hand and seal this 25th day of JANUARY, 1990.

DULY ENTERED FOR TAXATION

Jan 25 19 90
Ernest R. Thomas
Auditor Vigo County


Eric J. Bennett (SEAL)

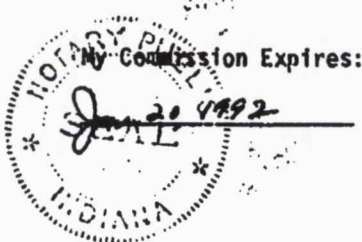
STATE OF INDIANA)
COUNTY OF VIGO) SS

511

2

Before me, the undersigned, Notary Public in and for said County and State, this 25th day of January, 1990, personally appeared Eric J. Bennett, Grantor in the above conveyance, and acknowledged the execution of above and foregoing Warranty Deed.

WITNESS my hand and Notarial Seal.



B. Curtis Wilkinson
B. Curtis Wilkinson Notary Public
Resident of VIGO County, Indiana

Mail tax duplicates to:
Union Hospital, Inc.
1606 North Seventh
Terre Haute, Indiana 47804

This instrument prepared by B. Curtis Wilkinson, Attorney At Law, 333 Ohio Street, P. O. Box 1567, Terre Haute, Indiana 47808.

RECEIVED FOR RECORD THE 25 DAY OF Jan 1990 AT 3:45 O'CLOCK P.M.
RECORD 421 PAGE 511 JUDITH ANDERSON, RECORDER

SEP 29 2017

2017009834 WD \$25.00
09/29/2017 01:42:26P 1 PGS
Stacey Joy
VIGO County Recorder IN
Recorded as Presented



James W. Brumble
VIGO COUNTY AUDITOR

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT **Barbara G. Grubb**, unmarried widow, of Terre Haute, Indiana, acting herein by and through **David W. Grubb**, her Attorney-in-Fact, duly appointed and acting pursuant to a Power of Attorney dated September 11, 2015, and recorded on September 18, 2017 with the Recorder of Vigo County, Indiana, being assigned Instrument No. 2017009369PO ("Grantor") does hereby CONVEY AND WARRANT TO **Union Hospital, Inc.**, an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number 58 in Hudson's Subdivision as corrected by Josphus Collett of Lot Number 4 and part of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

(Commonly known as 1708 North 8th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the **Barbara G. Grubb** who took title with her now deceased husband, **Bernard W. Grubb**, to the above-described real estate by a Warranty Deed dated June 10, 1952, and recorded on June 16, 1952, at Deed Record 271, Page 261, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said **Barbara G. Grubb** and **Bernard W. Grubb** continued unbroken from the time they so acquired title to said real estate until the death of **Bernard W. Grubb** on March 7, 2014, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.


IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 29th day of September, 2017.

Barbara G. Grubb by David W. Grubb POA
Barbara G. Grubb, by David W. Grubb POA

STATE OF INDIANA)
:SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 29th day of September, 2017, personally appeared **Barbara G. Grubb**, by **David W. Grubb**, POA and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Berrisford

VALORI J. BERRISFORD
Notary Public, State of Indiana
Vigo County
My Commission Expires
February 19, 2025

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:


Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

DULY ENTERED FOR TAXATION
Subject to final acceptance for transfer

OCT 09 2012

2012015307 WD \$16.00
10/09/2012 03:03:20P 1 PGS
NANCY S. ALLSUP
VIGO County Recorder IN
Recorded as Presented


Timothy R. [Signature]
VIGO COUNTY - TOR

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Billie F. Leavitt, of Terre Haute, Indiana ("Grantor") CONVEYS AND WARRANTS TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

(Commonly known as 1715 North 7th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Billie F. Leavitt who took title with her now deceased husband, Robert E. Leavitt, Sr., to the above-described real estate by a Warranty Deed dated and recorded on July 21, 1972, at Deed Record 356, Page 958-2, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Billie F. Leavitt and Robert E. Leavitt, Sr. continued unbroken from the time they so acquired title to said real estate until the death of Robert E. Leavitt, Sr. August 22, 2010, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 5th day of October, 2012.

Billie F. Leavitt
Billie F. Leavitt

STATE OF INDIANA)
COUNTY OF VIGO)
:SS

Before me, the undersigned, a Notary Public in and for said County and State this 5th day of October, 2012, personally appeared Billie F. Leavitt and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

My Commission Expires:
February 19, 2017

Valori J. Berrisford
Valori J. Berrisford, Notary Public

Resident of Vigo County, Indiana


THIS INSTRUMENT PREPARED BY:
Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:
Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

DULY ENTERED FOR TAXATION
Subject to final acceptance for transfer

2016004140 WD \$16.00
04/26/2016 11:59:22A 1 PGS
NANCY S. ALLSUP
VIGO County Recorder IN
Recorded as Presented


APR 26 2016


VIGO COUNTY AUDITOR

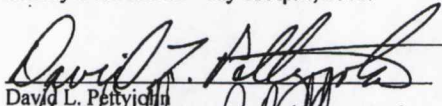
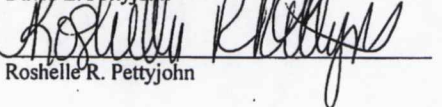
WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT David L. Pettyjohn and Roshelle R. Pettyjohn, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

(Commonly known as 1707 North 7th Street, Terre Haute, Indiana 47804).

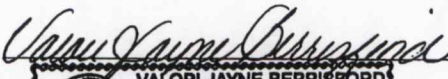
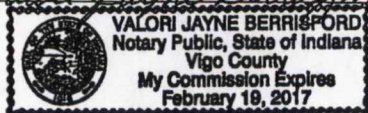
IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 22nd day of April, 2016.


David L. Pettyjohn

Roshelle R. Pettyjohn

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 22nd day of April, 2016, personally appeared David L. Pettyjohn and Rosehelle R. Pettyjohn, husband and wife, and acknowledged the execution of the above Warranty Deed.

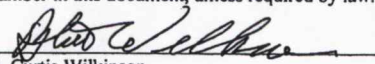
Witness my hand and notarial seal.

THIS INSTRUMENT PREPARED BY:
Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807


MAIL TAX DUPLICATES TO:
Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.


B. Curtis Wilkinson

JUN 02 2016

Timothy M. Allsup
VIGO COUNTY AUDITOR

2016005584 WD \$16.00
06/02/2016 02:52:57P 1 PGS
NANCY S. ALLSUP
VIGO County Recorder IN
Recorded as Presented


WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Nick Tschudny and Kathy H. Tschudny, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3- 5- 6-7-8-9 and 10 of Spencers Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

(Commonly known as 1705 North 7th Street, Terre Haute, Indiana 47804).

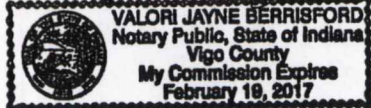
IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 2nd day of June, 2016.

Nick Tschudny
Nick Tschudny
Kathy H. Tschudny
Kathy H. Tschudny

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 2nd day of June, 2016, personally appeared Nick Tschudny and Kathy H. Tschudny, husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori Jayne Berrisford


THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968


I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

DULY ENTERED FOR TAXATION
Subject to final acceptance for transfer

JUL 01 2011

Tammy M. Allsup
VIGO COUNTY AUDITOR

2011008198 WD \$16.00
07/01/2011 02:27:25P 1 PGS
NANCY S. ALLSUP
VIGO County Recorder IN
Recorded as Presented


WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Stanley E. Kerr and Melody L. Kerr, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

(Commonly known as 1704 North 8th Street, Terre Haute, Indiana 47804).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 1st day of July, 2011.

Stanley E. Kerr
Stanley E. Kerr

Melody L. Kerr
Melody L. Kerr

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 1st day of July, 2011, personally appeared Stanley E. Kerr and Melody L. Kerr and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Berrisford
Valori J. Berrisford, Notary Public

My Commission Expires:
February 19, 2017

Resident of Vigo County, Indiana

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

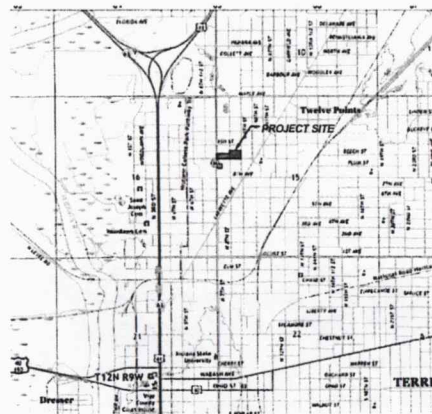
CONSTRUCTION PLANS FOR UNION HOSPITAL NEW PARKING VIGO COUNTY, INDIANA

PART OF THE NW ¼ OF SECTION 15, TOWNSHIP 12N, RANGE 9W
HARRISON TOWNSHIP

SITE LOCATION
TERRE HAUTE
VIGO COUNTY
INDIANA



LOCATION MAP
SCALE: 1" = 1000'



LOCATION MAP
TERRE HAUTE QUAD
SCALE: 1" = 2000'



Latitude 39°29'12"N
Longitude 87°24'23"W

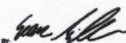
- INDEX -

SHEET NUMBER	DESCRIPTION
C001	TITLE SHEET
C002	GENERAL NOTES AND LEGEND
C003	EXISTING CONDITIONS
C101	SITE PLANS
C201	GRADING AND DRAINAGE PLAN
C401	SWPPP
C402	EROSION CONTROL PLAN
C403	EROSION CONTROL PLAN DETAILS
C901	STANDARD SPECIFICATIONS

OWNER:
UNION HOSPITAL INC.
MIKE MULLINS
1606 N 7TH STREET
TERRE HAUTE, IN 47804
(812)-232-4311

ENGINEER:
ALIGN CEC, INC.
EVAN MILLER, P.E.
1216 S. 3RD STREET
TERRE HAUTE, IN 47802
(812) 238-9731
EMILLER@ALIGNCEC.COM

ALIGN

PLANS PREPARED BY: 
EVAN MILLER, P.E.



DATE: 07-29-2024

1. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES AND INDUSTRY STANDARDS.
2. THE ENGINEER HAS APPLIED FOR CONSTRUCTION PERMITS FROM IDEM FOR SCARP EROSION CONTROL, AND TO THE CITY OF TERRE HAUTE FOR SITE DEVELOPMENT APPROVAL. THE CONTRACTOR SHALL OBTAIN ALL OTHER PERMITS AND PAY ALL FEES REQUIRED TO CONSTRUCT THE PROJECT.
3. ROAD CLOSURES ARE PERMITTED ONLY WITH APPROVAL FROM THE CITY OF TERRE HAUTE.

1. SUBGRAD SHALL BE PREPARED AND COMPACTED IN ACCORDANCE WITH ROBERT STANARD SPEC SECTION 207, SUBGRADE TREATMENT TYPE III. COST OF SUBGRADE PREPARATION SHALL BE INCLUDED IN THE COST OF OTHER PAY ITEMS. CONTRACTOR SHALL PROVIDE A MINIMUM 24-HR NOTICE TO OWNER AND ENGINEER FOR SCHEDULED POCROOF ACTIVITIES.
2. A GEOTECHNICAL REPORT WAS NOT PROVIDED BY OWNER OR ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SOIL STABILITY FOR ALL EXISTING AND PROPOSED FOUNDATIONS. INVESTIGATIONS OR TESTING DURING CONSTRUCTION.

[illegible]

TERRE HAUTE ENGINEERING
DEPARTMENT
CITY ENGINEER - MARCUS MAURER, P.E.
ENGINEERING@TERREHAUTE.IN.GOV
(812) 244-4903

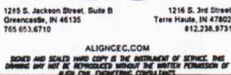
ELECTRIC GAS
DUKE ENERGY (ELECTRIC)
CENTERPOINT ENERGY (GAS)

EL: 691.47	AC2 B3	AC2 B1	AC2 B1	RECHOWARD 67343
N: 154001.863		N: 154001.215	N: 154001.215	(RECHOWARD IN UTILITY POLE)
E: 2081564.172		E: 2081534.367	E: 2081557.701	
		EL: 691.78	EL: 694.00	
	AC2 B2, C, N/A			
	N: 154017.447			
	E: 2081601.509			
	EL: 692.32			

THESE PLANS.

[illegible]

1705 N 7TH ST.
TERRE HAUTE, IN 47804



Sam Kild

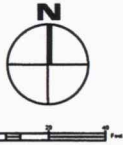
UNION HOSPITAL, INC.
REC'D D. GROSS
UNION HOSPITAL, INC.

PROJECT NUMBER	24-111
DATE	8/20/2008
DRAWN BY	CAT
CHECKED BY	ENR
APPROVED BY	ENR
SCALE	
PLOT NAME	24-111_Cond.dwg

UNION
HOSPITAL
PARKING

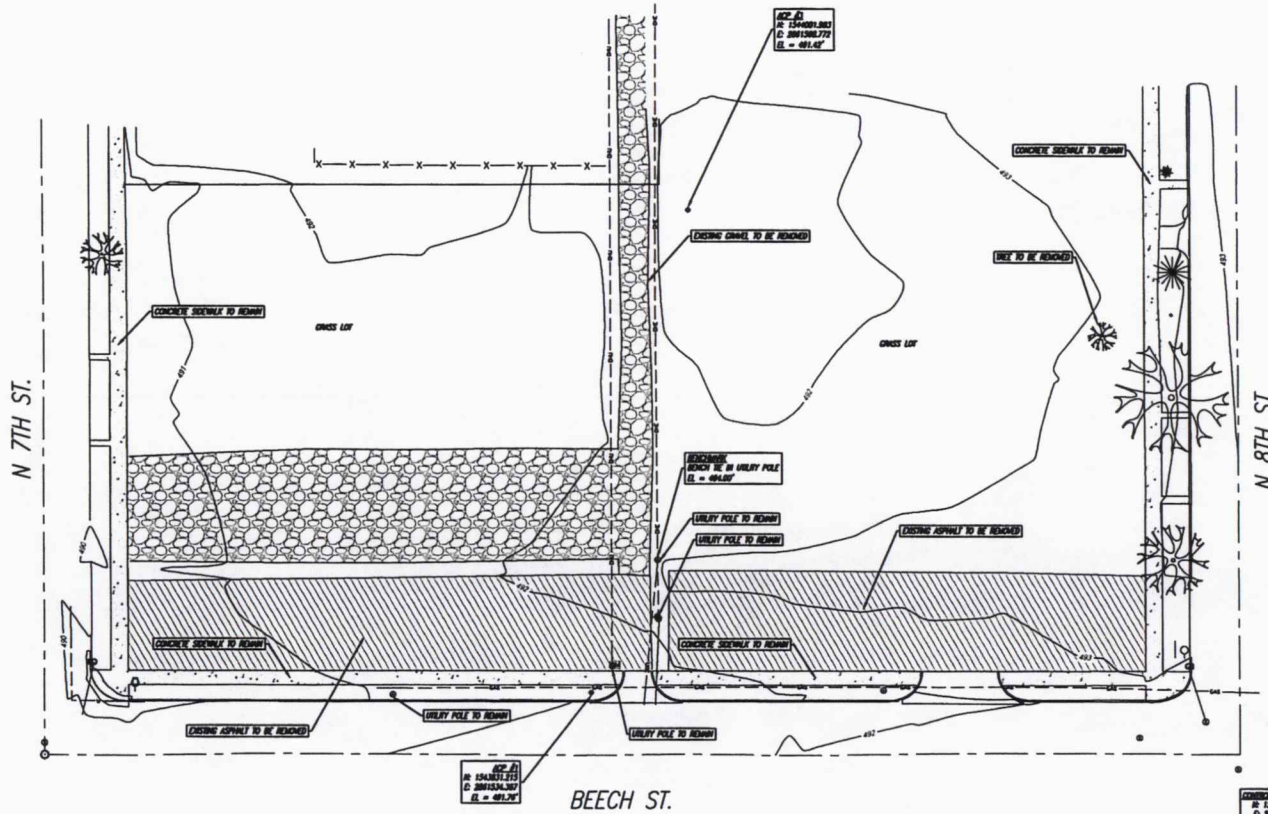
**EXISTING
CONDITIONS**

C0002



SITE LEGEND

- EXISTING CONCRETE SIDEWALK
- EXISTING ASPHALT
- EXISTING GRAVEL



The locations of underground utilities as shown herein are based on above ground structures and/or field notes, and record drawings provided by others. The actual locations of which may vary upon a more detailed sub-surface inspection. No excavations were made for purposes of this survey. Before proceeding with any excavation, the proper offices should be contacted for the verification of utility types and/or locations.

NO.	DATE	REVISIONS	BY	CHECKED
1	08/13/24	CITY COMMENTS	SM	EXM

SECTION 15, TOWNSHIP 9 NORTH, RANGE 8 WEST OF THE SECOND PRINCIPAL MERIDIAN, HARRISON TOWNSHIP, CITY OF TERRE HAUTE, VIGO COUNTY, INDIANA
1705 N 7TH ST.
TERRE HAUTE, IN 47604

ALIGN
1233 S. Jackson Street, Suite B
Terre Haute, IN 47603
731.616.7175
ALIGN.COM
ALIGN AND S&B are equal partners in the business of providing professional engineering and surveying services to the public.



CLIENT
UNION HOSPITAL INC.

RECORDS CHARGE
UNION HOSPITAL INC.

PROJECT NUMBER: 24-111
DATE: 07/09/2024
DRAWN BY: CAT
CHECKED BY: EXM
APPROVED BY: EXM
SCALE: 1"=20'
FILE NAME: 24-111_Civil.dwg

UNION HOSPITAL PARKING

EXISTING CONDITIONS

C003



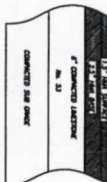
- 1 STANDARD PARKING (9' X 18')
- 2 INFILTRATION TRENCH (SEE DETAIL ON SHEET C201)
- 3 PAVEMENT STRIPING (TYP.)
- 4 WHEEL STOP (TYP.)
- 5 LANDSCAPING (COORDINATE WITH OWNER)

166 TOTAL PAINTED PARKING SPACES (WITH 0.33' WIDE STRIPING)

STANDARD ASPHALT PAVEMENT

PROPOSED INFILTRATION TRENCH

NOTE:
ANY EXISTING CONCRETE SIDEWALK DAMAGED DURING
CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR
AT THE CONTRACTOR'S EXPENSE.

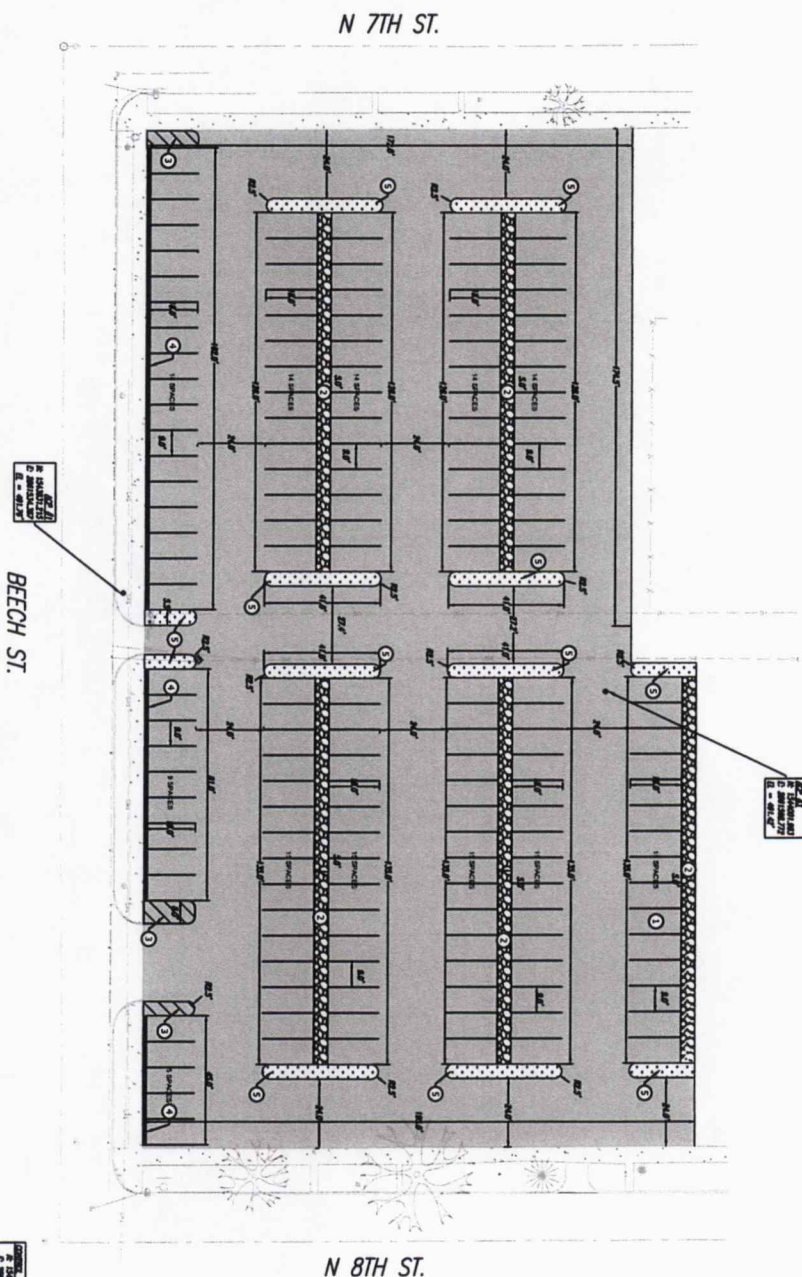


STANDARD ASPHALT PAVEMENT SECTION

NOT TO SCALE



The location of underground utilities as shown herein are based on above ground structures and/or field location, and recent drawings provided by others. The actual location of which may vary upon a more detailed as-surface inspection. No excavations were made for purposes of this survey. Before proceeding with any excavations, the proper offices should be contacted for the verification of utility types and/or locations.



N 7TH ST.

N 8TH ST.

[illegible]

621
 15 MAR 1971
 15 MAR 1971
 15 MAR 1971

BEECH ST.

R-15477250
 C-2001001000
 H-000000

1705 N 7TH ST.
TERRE HAUTE, IN 47804

[illegible]

ALIGN

1285 S. Jackson Street, Suite B Greencastle, IN 46135 765.653.6710	1216 S. 3rd Street Terre Haute, IN 47802 812.234.9731
--	---

ALIGNCEC.COM
THIS COPY IS THE INSTRUMENT OF SERVICE. THIS
REPRODUCED WITHOUT THE WRITTEN PERMISSION OF
OUR ENGINEERING CONSULTANTS.



For All

UNION HOSPITAL, INC.
RECORDS DIVISION
UNION HOSPITAL, INC.

PROJECT NUMBER	26-11
DATE	8/22/75
DRAWN BY	CA
CHECKED BY	EM
APPROVED BY	EM
SCALE	1"=2'
FILE NAME	

UNION
HOSPITAL
PARKING

SITE PLAN

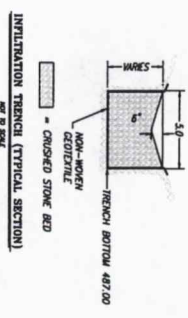
C101



GRADING LEGEND

- EXISTING CONTOURS
- DESIGN CONTOURS
- DESIGN SPOT ELEVATION
- WATCH EXISTING

DRAINAGE SUMMARY
PRE-DEVELOPED 1.19 (IN) 10-M
POST-DEVELOPED 13.18 (IN) 25-M



N 7TH ST.

BEECH ST.

N 8TH ST.

The location of underground utilities is shown. Owners are advised to obtain ground conditions and/or soil boring, and review drawings provided by others. The utility location is shown. Owners are advised to obtain ground conditions and/or soil boring, and review drawings provided by others. The utility location is shown. Owners are advised to obtain ground conditions and/or soil boring, and review drawings provided by others.



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SECTION 15, TOWNSHIP 9 NORTH, RANGE 9 WEST OF THE SECOND PRINCIPAL MERIDIAN, HARRISON TOWNSHIP, CITY OF TERRE HAUTE, VIGO COUNTY, INDIANA

1705 N 7TH ST.
TERRE HAUTE, IN 47804

NO.	DATE	REVISIONS	BY	CHECKED
1	06.13.24	CITY COMMENTS	EMM	EMM

UNION HOSPITAL PARKING

GRADING AND DRAINAGE PLAN

C201

PROJECT NUMBER 24111
DATE 06.13.24
DRAWN BY EMM
CHECKED BY EMM
APPROVED BY EMM
FILE NAME 24111_Cadd.dwg

DESIGNED BY EMM
CHECKED BY EMM
APPROVED BY EMM
FILE NAME 24111_Cadd.dwg

UNION HOSPITAL, INC.
1200 N. 10TH ST.
TERRE HAUTE, IN 47804

ALIGNCEC.COM

Storm Water Pollution Prevention Plan

Construction Plan Element (Section A)

A1. Plan Index

See general information Sheet C001

A2. Vicinity Map

See Sheet C001

A3. Narrative Describing the Nature and Purpose of Project

The project is located on the block between 7th Street and 8th Street and Beech Street and Ash Street, Terre Haute, IN. The proposed project consists of new parking lot with proposed infiltration trenches.

A4. Latitude and Longitude of the Project:

Latitude: 39°29'12" N, Longitude: 87°24'23" W

A5. Legal Description of the Project

Section 15 Township 12 North Range 9 West, Vigo County, Harrison Township

A6. 11x17 Inch Plat

See Sheet C101

A7. Boundaries of 100yr Floodplains, Floodways Fringes, and Floodways

This property is not located in a floodplain per FEMA Map 18167C0162C, February 18th, 2011.

A8. Adjacent Land Use

Adjacent Land Use:
West Block: Commercial (Hospital)
South Block: Commercial (Hospital)
North Block: Residential
East Block: Residential

A9. Identification of a U.S. EPA Approved or Established Total Maximum Daily Load (TMDL)

N/A

A10. Name(s) of Receiving Water(s)

Water will leave the site by infiltration into the soil.

A11. Identification of Discharges to a Water on the Current 303 (d) List of Impaired Waters and the Pollutant(s) for which it is Impaired

N/A

A12. Soil Map of Predominate Soil Types

Soil types present consist of Elston sand loam.

A13. Identification and Location of all Known Wetlands, Lakes and Water Courses on or Adjacent to the Project Site

N/A

A14. Identification of any Other State or Federal Water Quality Permits or Authorizations that are Required for Construction Activities

N/A

A15. Identification and Delineation of Existing Cover

Some asphalt and gravel as well as grass.

A16. Existing Site Topography

See Plan Sheet C003

A17. Location(s) where Run-Off Enters the Project Site

Run-off may enter the site from the East side of the project. Existing drainage pattern water flows from East to West across the site.

A18. Location(s) where Run-off Discharges from the Project Site Prior to Land Disturbance

Existing runoff discharges to the West.

A19. Location all Existing Structures on the Project Site

See Plan Sheet C003

A20. Existing or Permanent Retention or Detention Facilities

N/A

A21. Locations where Stormwater may be directly Discharged into Ground Water

Runoff may enter the ground water via natural filtration through the soil. No known abandoned wells on site.

A22. Size of Project Area

1.59 acres

A23. Total Expected Land Disturbance

1.59 acres

A24. Proposed Final Topography

See Sheet C201.

A25. Locations and Approximate Boundaries off All Disturbed Areas

See Sheet C003 and C101.

A26. Location, Size, and Dimensions of all Stormwater Drainage Systems

See Sheet C201.

A27. Locations of Specific Points where Stormwater and Non-Stormwater Discharges will Leave the Project Site

Stormwater will be leaving the site via infiltration through infiltration trenches.

A28. Location of all Proposed Site Improvements

See Sheet C101.

A29. Location of all On-site and Off-Site Soil Stockpiles and Borrow Areas

See Sheet C402.

A30. Construction Support Activities that are Expected to be part of the Project

N/A

A31. Location of any In-Stream Activities that are Planned for the Project

N/A

Stormwater Pollution Prevention - Construction Component (Section B)

B1. Description of Potential Pollutant Sources

Potential pollutant sources associated with the construction are anticipated to be silt runoff, petroleum and petroleum based chemicals from equipment and vehicles, fertilizer used for temporary and permanent seeding and, concrete from truck washout. These are all addressed in this plan.

B2. Stable Construction Entrance Locations and Specifications

The construction entrance for this project will be located as shown on sheet C402. Property shall be kept clear of sediment, trash, and any other construction materials (including fluids). Access to the construction entrance will be from Beech Street, which shall be kept clean of mud and silt.

B3. Specifications for Temporary and Permanent Stabilization

All areas left disturbed for 7 days or more shall have temporary seeding applied according to the attached specifications (Indiana Department of Environmental Management Manual, Chapter 7). If construction is completed in an area, permanent seeding may be applied instead of temporary. Temporary seeding shall be applied as follows:

Seed Species	Rate/Acre	Planting Depth	Optimum Dates
Wheat or Rye	150 lbs	1 to 1.5 in.	9/15 to 10/30
Spring Oats	100 lbs	1 in.	3/1 to 4/15
Annual Ryegrass	40 lbs	0.25 in.	3/1 to 5/1 & 8/1 to 9/1
German Millet	40 lbs	1 to 2 in.	5/1 to 8/1
Sudangrass	35 lbs	1 to 2 in.	5/1 to 7/30
Buckwheat	60 lbs	1 to 2 in.	4/15 to 6/1
Corn (Broadcast)	300 lbs	1 to 2 in.	5/1-8/10
Sorghum	35 lbs	1 to 2 in.	5/1-7/15

Once construction is completed in areas outside of the building, sidewalk, or paving limits, permanent seeding is to take place. This is to be done according to the attached specifications for Permanent Seeding. The specifications state what type of seed mixes are to be used and how to apply them. Optimum seeding dates are March 1 to May 10 and August 10 to September 30. Seeding done between May 10 and August 10 may require irrigation. As an alternative, temporary seeding may be used until the optimum dates for permanent seeding.

B4. Sediment Control for Concentrated Flow Areas

N/A

B5. Sediment Control for Sheet Flow Areas

Sheet flow will be the primary runoff type for this project. Silt fence will be placed as directed in the Erosion Control Plan. See Sheet C402.

B6. Run-Off Control Measures

N/A

B7. Stormwater Outlet Protection Location and Specifications

N/A

B8. Grade Stabilization Structure Locations and Specifications

N/A

B9. Dewatering Applications and Management Methods

N/A

B10. Measures Utilized for Work within Waterbodies

N/A

B11. Maintenance Guidelines for each Proposed Stormwater Quality Measure

Monitoring and maintenance of the practices will be in accordance with the attached specification for each practice. The contractor shall have a person knowledgeable in erosion and sediment control that shall inspect the site for stormwater pollution deficiencies at least once weekly and again within 24 hours of every $\frac{1}{2}$ inch rain event.

B12. Planned Construction Sequence

Pre-Construction Practices

1. Notify IDEM CSGP coordinator (317-233-4884) and City of Terre Haute Public Works Office within 48 hours of starting construction. Schedule a pre-construction meeting after the perimeter practices have been installed.
2. Perimeter silt fence shall be installed prior to any land disturbing activities as shown on the Erosion Control Plan. See sheet C402.
3. A 3' buffer area of existing vegetation shall be maintained between the disturbed areas and silt fence.
4. Topsoil stockpiles will be located on site, as shown on the Erosion Control Plan. Any amount of topsoil stockpiled shall be surrounded with silt fence prior to placing any material there.
5. There will be a construction entrance from Beech St. The construction entrance will be constructed of No. 2

stone placed to a depth of 8-in placed on top of geotextile fabric. This entrance shall be a minimum of 50-ft long x 24-ft wide, to allow for two-way traffic.

6. Install Construction Entrance, fueling area, port-a-potty, solid waste bin, concrete washout facility, and equipment staging area.
7. Post the contact information at the construction entrance. Include a copy of the NOI and contact information for the on-site person who is responsible for implementing the storm water pollution prevention plan. The SWPPP should be on-site and weekly reports need to be available within 48 hours of a request.

During Construction Practices

1. Inspection and maintenance of the Erosion Control practices initiated will continue throughout the construction time period. Inspections will be at least once a week. Inspections will be made following every $\frac{1}{2}$ inch rain event. Inspection is to be made by construction personnel trained individually and erosion control practices.
2. All areas on the property that have been cleared or graded shall have temporary seeding planted as early as possible. All areas left undisturbed for 7 days SHALL be temporary seeded.
3. All disturbed areas shall have permanent seed within 7 days after finished grading operations as specified in C403.
4. All disturbed area not at final grade left idle for more than 7 days shall be temporary seeded as per B3 of this sheet.
5. Land disturbing activities shall be kept to a minimum until these practices are installed.

Post Construction Practices

1. Inspection and maintenance of the Erosion Control practices initiated will continue after construction is complete. Sediment control practices shall be removed after the site is stabilized.
2. The contractor shall remove the temporary erosion or sediment control devices as each area is permanently stabilized.

B13. Provisions for Erosion and Sediment Control on Individual Residential Building Lots Regulated under the Proposed Project

N/A

B14. Material Handling and Spill Prevention and Spill Response plan Meeting the requirements in 327 IAC 2-4.1

Materials that may be present on site during construction will be petroleum-based products. These materials should be handled in a common area used to fuel and service equipment. Any spill of petroleum that exceeds 55 gallons must be reported to the Indiana Department of Environmental Management, Office of Environmental Response at (888) 233-7745 or (317) 233-7745 within 2 hours as well as the Terre Haute Fire Department. Any smaller spills will be contained and all affected materials shall be removed and hauled to an approved location for disposal. All materials used on site shall have an available MSDS sheet to specify what is to be done in case of a spill.

B15. Material Handling and Storage Procedures Associated with Construction Activity

See Sheet C402 and C403.

Stormwater Pollution Prevention Plan - Post Construction Component (Section C)

C1. Description of Pollutants and their Sources Associated with Proposed Land Use

The site will be used as a Parking Lot, Sidewalk and Landscaping. Possible post construction pollutants would be gasoline from vehicles in and out of the site as well as salt/and and trash/litter.

C2. Description of Proposed Post Construction Stormwater Quality Measures

Areas to be seeded will be fine graded in order to establish a good stand of grass in order to prevent erosion. Permanent seeding must be done within 7 days of the end of construction.

C3. Plan Details for each Stormwater Measure

Permanent seeding will be in accordance with the attached specifications. See sheet C403.

C4. Sequence Describing Stormwater Quality Measure Implementation

Seeding areas shall include all areas outside of the pavement and sidewalk as shown on the plans.

C5. Maintenance Guidelines for Proposed Post-Construction Stormwater Measures

Contractor will be responsible for establishing and maintaining the seeded areas until grass is fully established and pavement has been placed.

C6. Entity that will be Responsible for Operation and Maintenance of the Post-Construction Stormwater Measures

The property owner will assume responsibility of the site post-construction.

NO.	DATE	REVISIONS	CITY COMMENTS
1	08/13/24		

SECTION 15, TOWNSHIP 9 NORTH, RANGE 9 WEST OF THE SECOND PRINCIPAL MERIDIAN, HARRISON TOWNSHIP, CITY OF TERRE HAUTE, VIGO COUNTY, INDIANA

1705 N 7TH ST.
TERRE HAUTE, IN 47604

ALIGN

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765.613.8719

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1308 E. Jackson Street, Suite 8
Terre Haute, IN 47603
765.613.8719



SUBMIT

UNION HOSPITAL INC.

RECORD OWNER

UNION HOSPITAL INC.

PROJECT NUMBER: 26-111
DATE: 8/13/2024
DRAWN BY: CAT
CHECKED BY: EWS
APPROVED BY: EWS
SCALE:
FILE NAME: 26-111_C401.dwg

UNION HOSPITAL PARKING

SWPPP

C401



Location Map
Not to Scale



EROSION CONTROL LEGEND

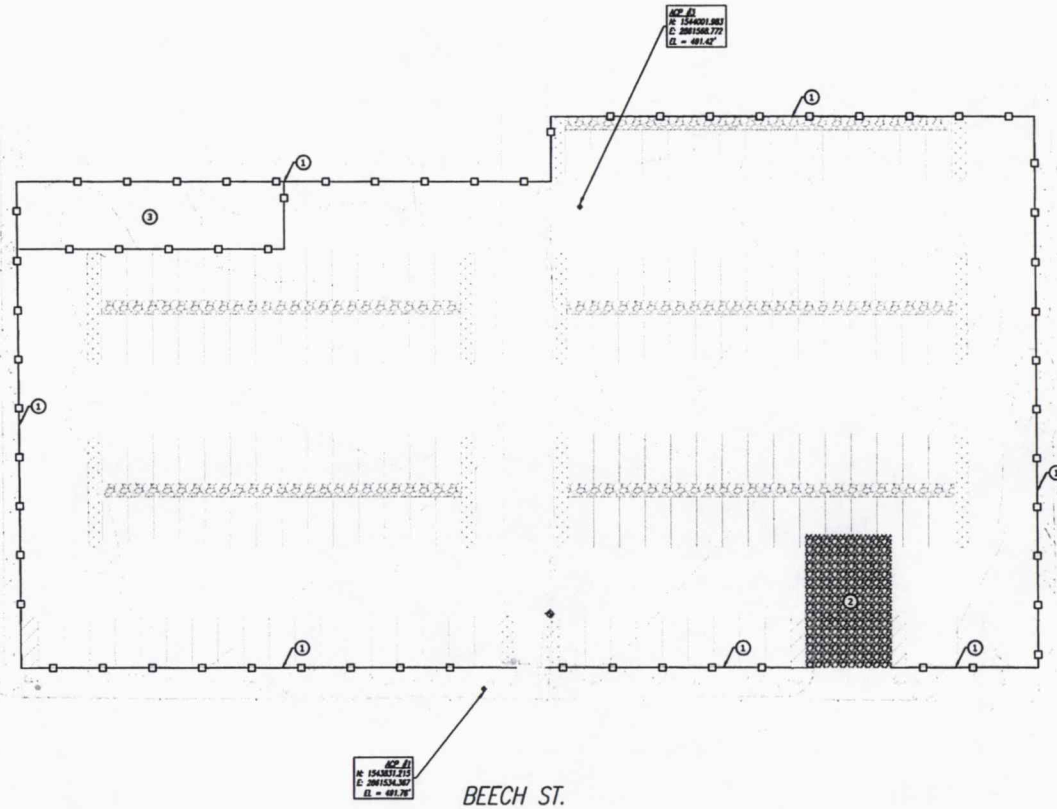
- ① SILT FENCE
- ② CONSTRUCTION ENTRANCE
- ③ TOPSOIL STOCKPILE

NOTES

1. ANY NEWLY GRADED AREA WITH A SIDE SLOPE 3:1 OR GREATER SHALL BE LINED WITH EROSION CONTROL BLANKET.
2. ALL AREAS LEFT UNOBTURBED FOR 7 DAYS OR MORE SHALL HAVE TEMPORARY SEEDING APPLIED ACCORDING TO THE ATTACHED SPECIFICATIONS. IF CONSTRUCTION IS COMPLETED IN AN AREA, PERMANENT SEEDING MAY BE APPLIED INSTEAD OF TEMPORARY. TEMPORARY SEEDING SHALL BE APPLIED AS FOLLOWS:

SEED SPECIES	RATE/ACRE	PLANTING DEPTH	OPTIMUM DATES
WHEAT OR RYE	100 LBS.	1 TO 1.5 IN.	8/15 TO 10/10
SPRING GRASS	100 LBS.	1 IN.	3/1 TO 4/15
ANNUAL PERENNIAL	40 LBS.	1/2 IN.	3/1 TO 5/1 & 8/1 TO 9/1
GERMAN WHEAT	40 LBS.	1 TO 2 IN.	5/1 TO 6/1
BUCKWHEAT	40 LBS.	1 TO 2 IN.	5/1 TO 7/10
BUCKWHEAT	40 LBS.	1 TO 2 IN.	4/15 TO 6/1
CORN (BROADCAST)	100 LBS.	1 TO 2 IN.	5/1 TO 6/15
CORNFEST	15 LBS.	1 TO 2 IN.	5/1 TO 6/15
3. ONCE CONSTRUCTION IS COMPLETED IN AREAS OUTSIDE OF THE PAVING LIMITS, PERMANENT SEEDING IS TO TAKE PLACE. THIS IS TO BE DONE ACCORDING TO THE SPECIFICATIONS FOR PERMANENT SEEDING IN THE IDEM INDIANA STORM WATER QUALITY MANUAL. THE SPECIFICATIONS STATE WHAT TYPE OF SEED MIXES ARE TO BE USED AND HOW TO APPLY THEM. OPTIMUM SEEDING DATES ARE MARCH 1 TO MAY 15 AND AUGUST 15 TO SEPTEMBER 15. SEEDING DONE BETWEEN MAY 15 AND AUGUST 15 MAY REQUIRE IRRIGATION. AS AN ALTERNATIVE, TEMPORARY SEEDING MAY BE USED UNTIL THE OPTIMUM DATES FOR PERMANENT SEEDING.

N 7TH ST.



BEECH ST.

N 8TH ST.



The locations of underground utilities as shown herein are based on above ground structures and/or field location, and record drawings provided by others, the actual locations of which may vary upon a more detailed sub-surface inspection. No excavations were made for purpose of this survey. Before proceeding with any excavation, the proper offices should be contacted for the verification of utility types and/or locations.

NO.	DATE	REVISIONS	BY	CHECKED
1	08/13/24	CITY COMMENTS	EMM	EMM

SECTION 15, TOWNSHIP 9 NORTH, RANGE 9
MERIDIAN, HARRISON TOWNSHIP, CITY OF
TERRE HAUTE, VIGO COUNTY, INDIANA
1706 N 7TH ST
TERRE HAUTE, IN 47604

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Terre Haute, IN 47606
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ALIGNINC.COM
UNION HOSPITAL INC. 1000 S. 3rd Street, Terre Haute, IN 47606



CLIENT:
UNION HOSPITAL INC.

RECORD OWNER:
UNION HOSPITAL INC.

PROJECT NUMBER: 20-111
DATE: 08/13/24
DRAWN BY: CAT
CHECKED BY: EMM
APPROVED BY: EMM
SCALE: 1"=20'
FILE NAME: 20-111_046.dwg

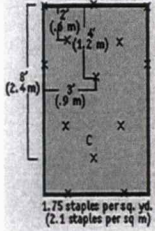
UNION HOSPITAL
PARKING

EROSION
CONTROL PLAN

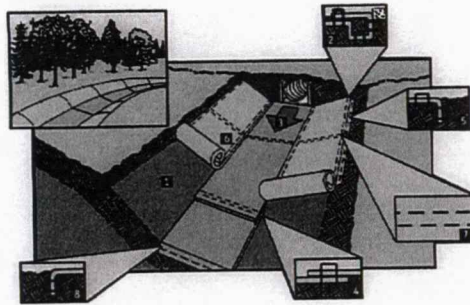
C402

Erosion Control Plan Details

EROSION CONTROL BLANKET



1. Prepare sod before installing blankets, including application of lime, fertilizer, and seed.
2. Begin at the top of channel by anchoring the blanket in a 6" deep by 6" wide trench. Backfill and compact the trench after stapling.
3. Roll center blanket in direction of water flow on bottom of channel.
4. Place blankets and over end (single style) with a 6" overlap. Use a double row of staggered staples 4" apart to secure blankets.
5. Full-length edge of blankets at top of side slopes must be anchored in 6" by 6" wide trench. Backfill and compact the trench after stapling.
6. Blankets on side slopes must be overlapped 4" over the center blanket and staples.
7. In high flow channel applications, a staple check slot is recommended at 30 to 40 foot intervals. Use a row of staples 4" apart over entire width of the channel. Place a second row 4" below the first row in a staggered pattern.
8. The terminal end of the blankets must be anchored in a 6" deep by 6" wide trench. Backfill and compact the trench after stapling.



CONSTRUCTION SEQUENCE FOR SITE EROSION CONTROL PRACTICES

STEP 1. Evaluate the Site

Before construction, evaluate the entire site, marking for protection any important trees and associated rooting zones, unique areas to be preserved, on-site septic system absorption fields, and vegetation suitable for filter strips, especially in perimeter areas.

Identify Vegetation To Be Saved

- Select and identify the trees, shrubs, and other vegetation that you want to save (see "Vegetation Filter Strips" under Step 2 below).

Protect Trees and Sensitive Areas

- To prevent root damage, do not grade, burn, place soil piles, or park vehicles near trees or in areas marked for preservation.
- Place plastic mesh or snow fence barriers around tree's drip line to protect the area below their branches.
- Place a physical barrier, such as plastic fencing, around the area designated for a septic system absorption field (if applicable).

STEP 2. Install Perimeter Erosion and Sediment Controls

Identify the areas where sediment-laden runoff could leave the construction site, and install perimeter controls to minimize the potential for off-site sedimentation. It's important that perimeter controls are in place before any other earth-moving activities begin.

Protect Down-Slope Areas

With Silt Fence

- Use silt fencing along the perimeter of the lot's downslope side(s) to trap sediment (see Specifications).

Install Gravel Drive

- Restrict all lot access to this drive to prevent vehicles from tracking mud on to roadways.

STEP 3. Prepare the Site for Construction

Prepare the site for construction and for installation of utilities. Make sure all contractors (especially the excavating contractor) are aware of areas to be protected.

Salvage and Stockpile the Topsoil/Subsoil

- Remove topsoil (typically the upper 4 to 6 inches of soil material) and stockpile.
- Remove subsoil and stockpile separately from the topsoil.

- Locate the stockpiles away from any downslope street, driveway, stream, lake, wetland, ditch, or drainage way.
- Immediately after stockpiling, temporary-seed the stockpiles with annual rye or winter wheat and/or place sediment barriers around the perimeter of the piles.

STEP 4. Build the Structure(s) and Install the Utilities

Construct the site and install the utilities then consider the following.

Install Temporary Erosion Control Measures

- Inlet Protectors
- Silt Fence
- Erosion control blanket
- Riprap check dams once ditches are cut
- Temporary sediment trap at pond outlet pipe once pond is constructed

Seed or Sod Bare Areas

- Any area left disturbed for 7 days must be temporary seeded.
- Follow recommendations of a professional landscaping contractor for installation of sod.
- Water newly seeded/sodded areas every day or two to keep the soil moist. Less watering is needed once grass is 2 inches tall

STEP 5. Maintain the Control Practices

Maintain all erosion and sediment control practices until construction is complete and the site is stabilized.

- Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.
- Toward the end of each work day, sweep or scrape up any soil tracked onto roadways. Do not flush areas with water.
- By the end of the next work day after a storm event, clean up any soil washed off site.

STEP 6. Revegetate the Site

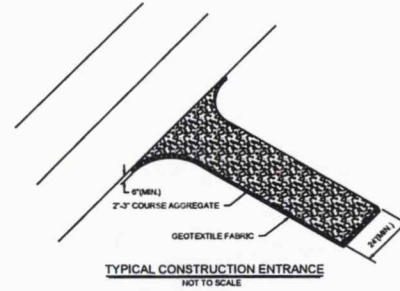
Immediately after all outside construction activities are complete, stabilize the lot with sod, seed, and/or mulch.

Redistribute the Stockpiled Topsoil and Subsoil

- Spread the stockpiled subsoil to rough grade.
- Spread the stockpiled topsoil to a depth of 4 to 6 inches over rough-graded areas.
- Fertilize and lime according to soil test results or recommendations of a seed supplier or a professional landscaping contractor.

STEP 7. Remove Remaining Temporary Control Measures

Once the sod and/or vegetation is well established, remove any remaining temporary erosion and sediment control practices.



Erosion Control Practices shall be as per the IDEM Indiana Storm Water Quality Manual, unless stated otherwise.

Erosion Control Blankets

To be used in areas where slope is 3:1 or greater

Permanent Seeding Recommendations

Per Plans, INDOT Type "U"

Temporary Seeding (If areas remain open for 7 days)

Species	Rate/acre	Depth	Optimal Dates
Wheat or Rye	150 lbs.	1 to 1 1/2 in.	9/15 to 10/30

Mulch Anchoring

Tack, Crimp, or Apply biodegradable netting over mulch and staple with 6-8 in. wire staples. Follow manufacturer's recommendations for installation.

Stabilizing measures

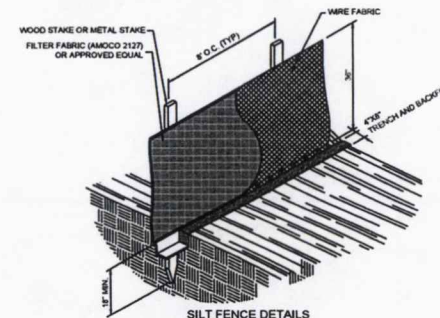
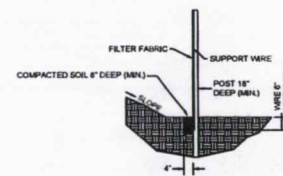
Temporary or permanent seeding, silt fence, or other erosion control measures shall be used within seven days after the land has been disturbed. Erosion control measures will be maintained throughout construction.

Staged Clearing

Will be utilized to reduce the amount of disturbed area during construction.

Soil Stockpiles

Will be surrounded with silt fence.



NO.	DATE	REVISIONS	BY	CHECKED
1	08/13/24	CITY COMMENTS	SHM	SHM

SECTION 15. TOWNSHIP 8 NORTH, RANGE 9 EAST OF THE SECOND PRINCIPALITY, CITY OF MENDOTA, HARRISON TOWNSHIP, CITY OF TERRE HAUTE, VIGO COUNTY, INDIANA
1708 N. 7TH ST.
TERRE HAUTE, IN 47604

ALIGN
1715 S. Jackson Street, Suite B
Terre Haute, IN 47604
Phone: 317.234.2731
Fax: 317.234.2731
ALIGN@CSC.COM
WWW.ALIGN-INDIANA.COM
ALIGN IS AN AFFILIATE OF THE CONSTRUCTION CONSULTANTS OF INDIANA, INC.

UNION HOSPITAL INC.
UNION HOSPITAL INC.
UNION HOSPITAL INC.

CLIENT
UNION HOSPITAL INC.
RECORD OWNER
UNION HOSPITAL INC.

PROJECT NUMBER
24-111
DATE
6/10/2024
DRAWN BY
CSC
CHECKED BY
ENR
APPROVED BY
ENR
SCALE
FILE NAME
24-111_Civil.dwg

UNION HOSPITAL PARKING

EROSION CONTROL PLAN DETAILS

C403



TERRE HAUTE, IN

PAID

NOV 01 2024

Receipt of Payment

CONTROLLER

The following was paid to the City of Terre Haute Controller's Office

Date 11/1/24
Name Lind Law Firm
Reason Rezoning Petition - \$20.00
Rezoning Notice of Filing - \$25.00

Cash

Check \$45.00 Ck # 10167

Credit

Total \$45.00

Received By Eck J. Thome



Area Planning Department For Vigo County

159 Oak Street, Terre Haute, Indiana 47807

Telephone: (812) 462-3354

Fax: (812) 234-3248

Terre Haute • West Terre Haute • Riley • Seelyville

DATE: December 5, 2024

REPORT TO THE CITY COUNCIL ON ZONING MAP AMENDMENT

THE VIGO COUNTY AREA PLAN COMMISSION HEREBY GIVES CERTIFICATION TO
SPECIAL ORDINANCE NUMBER 38-24

CERTIFICATION DATE: December 4, 2024

TO: The Honorable Common Council of the City of Terre Haute

Dear Members,

The Vigo County Area Plan Commission offers you the following report and certification on Special Ordinance No. 38-24. This Ordinance is a rezoning of property located at 720 Beech St., 1701, 1705, 1707, 1715 N. 7th St., 1700, 1704, 1708, 1716 N. 8th St. Terre Haute, IN. Parcel numbers 84-06-15-151-005.000-002/006/007/008/009/015/016/017/018. The Petitioner, Union Hospital Inc., petitions the Plan Commission to rezone for the future development of parking lot from zoning classification R-2 and C-1 to C-2 Community Commerce District.

The Ordinance was published in the Tribune-Star Newspaper in accordance with IC 5-3-1 and Division XIII of the Comprehensive Zoning Ordinance. Further, this ordinance was posted by the City Building Inspection Department in accordance with IC 36-7-4-604(c).

The Area Plan Commission considered Special Ordinance No. 38-24 at a public meeting and hearing held Wednesday, December 4, 2024. Remonstrators were not present. At this meeting, a quorum was present throughout the meeting pursuant to IC 36-7-4-301, and the Area Plan Commission took official action on Special Ordinance No. 38-24 as required by IC 36-7-4-302. The Area Plan Commission of Vigo County now hereby attaches certification to Special Ordinance No. 38-24 as required by IC 36-7-4-401(a)(7) and IC 36-7-4-605(c).

Therefore, Area Plan Commission's certified recommendation on Special Ordinance No. 38-24 was FAVORABLE, with the following conditions: 1) Approval of any variances or special uses required by the Department of Engineering 2) Site plan approval by the Department of Engineering.



A handwritten signature in black ink, appearing to read "Norm B. Froderman".
Norm Froderman, APC Secretary

A handwritten signature in black ink, appearing to read "Jared Bayler".
Jared Bayler, Executive Director

Received this 5th day of December, 2024

STAFF REVIEW – CITY OF TERRE HAUTE ZONE CHANGE

Number: SO # 38-24

Doc: # 86

Date: December 2024

Page 1 of 4

APPLICATION INFORMATION

Property Owner: Union Hospital Inc.

Proposed Use: Parking Lot

Proposed Zoning: C-2 Limited Community Commerce

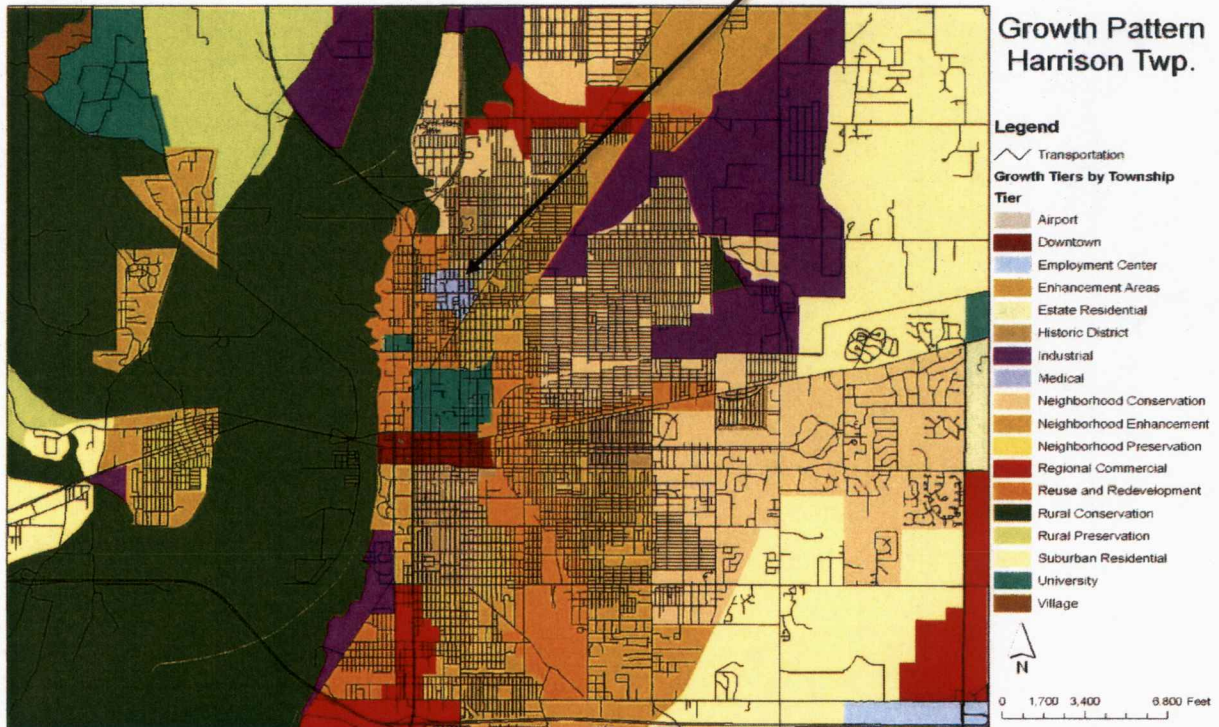
Current Zoning: R-2, Two Family Residence
C-1, Neighborhood Commerce District

Representative: Darrell E. Felling II

Common Address: 1705 N. 7th St., 720 Beech St., 1701 N. 7th St., 1707 N. 7th St.,
1715 N. 7th St., 1700 N. 8th St., 1704 N. 8th St., 1708 N. 8th St., 1716 N. 8th St.,
Parcel #'s. 84-06-15-151-007.000-002, 84-06-15-151-009.000-002, 84-06-15-151-
008.000-002, 84-06-15-151-006.000-002, 84-06-15-151-005.000-002, 84-06-15-151-
018.000-002, 84-06-15-151-017.000-002, 84-06-15-151-016.000-002, 84-06-15-151-
015.000-002

COMPREHENSIVE PLAN GUIDANCE

Service Area: The City of Terre Haute



Neighborhood Conservation

These areas encompass neighborhoods with established and stable residential environments. The vast majority of these areas are fully developed (or expected to be in a relatively short timeframe). Fundamental directives urged for these areas encourage the maintenance of the residential desirability and stability. Where new infill development is proposed, it should be entirely consistent and compatible with pre-existing developments. However, special public attention may, in some cases, be required to assure that drainage, sidewalk improvements, and linkages to pedestrian and bicycle trails are made. Many of these neighborhoods may be excellent candidates for special assessment districts for neighborhood improvements and amenities.

In addition, these areas encompass existing retail activity nodes located throughout the community. In general, these commercial areas have evolved in an unplanned, largely uncoordinated manner along frontage of primary arterials. Within these commercial bands, a great variety of activities exist which target different markets. Some activities are oriented toward “drive-by” markets, fast food restaurants, convenience stores, gasoline stations, drive-in banking facilities, for example. Other activities are special-purpose, oriented to single trips rather than comparative multi-purpose shopping. These single purpose stores serve a market larger than a single neighborhood. Sales and service of automobiles, trucks, boats, recreational vehicles and related activities are special purpose region-serving activities. They require large site with good visibility. Finally, commercial areas include a range of neighborhood level retail activities including grocery stores, pharmacies, personal services such as hair styling, and other frequently purchased goods and services.

Additional policies for Neighborhood Conservation areas should include:

- Allow for a range of housing densities based on the zoning ordinance.
- Allow for a mix of uses, focusing on neighborhood and community serving commercial nodes.
- Encourage neighborhoods to develop a unique sense of place, but still be part of the larger city.
- Reuse of commercial oriented structure should be limited to retail activities that contribute to the diversity and variety of retail uses in a commercial node.
- With respect to existing commercial “strips” – i.e. narrow bands of commercial uses occupying major roadway frontage, the limitation of additional or new commercial uses is strongly advised.
- Geographic expansion of this commercial “strips” should be limited to the provision of additional space to ensure the compatibility with adjacent uses, not an intensification of use.
- Improved landscaping, improved pedestrian amenities, and increased attention to lighting, signage, and impacts upon nearby residential areas is advised in the review of development petitions.

STAFF REVIEW – CITY OF TERRE HAUTE ZONE CHANGE

Number: SO # 38-24

Doc: # 86

Date: December 2024

Page 3 of 4

Available Services: The area is well served by utilities.

Street Access: N. 7th Street, N. 8th Street and Beech Street

ZONING COMPATIBILITY

Sur. Zones and Uses: **North** – R-2

East – R-2

South – C-2

West – C-3

ZONING REGULATIONS

C-2 Purpose: The Community Commerce Zone is designed for the residents of the nearby community consisting of more than one (1) of the neighborhoods in that section of the city, so as to permit a wider variety of both business uses and services. It is designed not for an abutting neighborhood, but for a relatively larger consumer population for both daily and occasional shopping. The development is characterized by a lack of “comparison shopping” and is limited to providing only one (1) store for each type of business.

C-2 Uses: Amusement establishments, bowling alleys, pool halls, swimming pools, dance halls, and skating rinks, Any use permitted in the C-1 Zone except as otherwise provided in this Chapter, Antique shops, Art galleries, but not including auction rooms, Banks and financial institutions, Bicycle sales, rental, and repair stores, Blue-printing and photostating establishments, Books and stationery stores, Camera and photographic supply stores, Candy and ice cream stores, Leather goods and luggage stores, Loan offices, Locksmith shops, Medical and dental clinics, Meeting halls, Millinery shops, Municipal or privately-owned recreation buildings or community-center, Musical instrument sales and repair, Newspaper distributors for home delivery and retail sale, Office supply stores, Offices, business and professional, Optometrists, Paint and wallpaper stores, Restaurants. Liquor may be served if incidental to the serving of food as the principal activity. (Gen. Ord. No. 2, 2007, As Amended, 2-8-07), Live entertainment. (Gen. Ord. No. 2, 2007, As Amended, 2-8-07)

C-2 Standards: Minimum Lot Size: 3,300 Sq. Ft.

STAFF REVIEW – CITY OF TERRE HAUTE ZONE CHANGE

Number: SO # 38-24

Doc: # 86

Date: December 2024

Page 4 of 4

FINDINGS and RECOMMENDATION

Staff Findings:

Union Hospital is requesting to rezone nine parcels for the use of an additional parking lot.

City Code requires screening to adjacent residential properties for parking areas for more than 10 vehicles (Section 10-137(d)(12). However, the adjacent residentially zoned properties are owned by Union Hospital.

A Special Use is required of an off-street parking facility when located elsewhere than on the same zoning lot as the principal use served (Section 10-208(a)(6).

In their recommendation, the Department of Engineering states: “the intended use would not alter the neighborhood’s characteristic or create any significant problems for the surrounding area”.

Recommendation: Staff offers a favorable recommendation with the following conditions:

1. Approval of any variances or special uses required by the Department of Engineering
2. Site plan approval by the Department of Engineering



**CITY OF
TERRE HAUTE
ENGINEERING
DEPARTMENT**

City Hall
17 Harding Avenue, Room 200
Terre Haute, IN 47807
Phone: 812.244.4903
www.terrehaute.in.gov

MARCUS MAURER, P.E.
CITY ENGINEER

MEMORANDUM

TO: Sydney Shahar
Vigo County Area Planning Department

FROM: Jason Holler
Lead Building Inspector

DATE: November 14th, 2024

RE: **Special Ordinance No. 38, 2024**

As requested by Area Planning, the Department of Engineering has reviewed the property located at 1701 N. 7th Street, 1705 N. 7th Street, 1715 N. 7th Street, 1704 N. 7th Street, 1716 N. 7th Street, 1707 N. 7th Street, 1700 N. 7th Street, 1708 N. 7th Street and 720 beech Street:

- Rezoning of 1701 N. 7th Street and 720 beech Street from C-1 Neighborhood Commerce to C-2 Community Commence District and rezoning 1705 N. 7th Street, 1715 N. 7th Street, 1704 N. 7th Street, 1716 N. 7th Street, 1707 N. 7th Street, 1700 N. 7th Street and 1708 N. 7th Street from R-2 Two Family Residence District to C-2 Community Commerce District.

The Intended use is for a Parking lot for additional parking for Union Hospital. The parcels surrounding this property are zoned R-2 to the North and East, parcel to the West are Zoned C-3 and parcel located to the South are zoned C-2. The intended use would not alter the neighborhood's characteristic or create any significant problems for the surrounding area.

The Department of Engineering offers a positive recommendation for this rezoning.

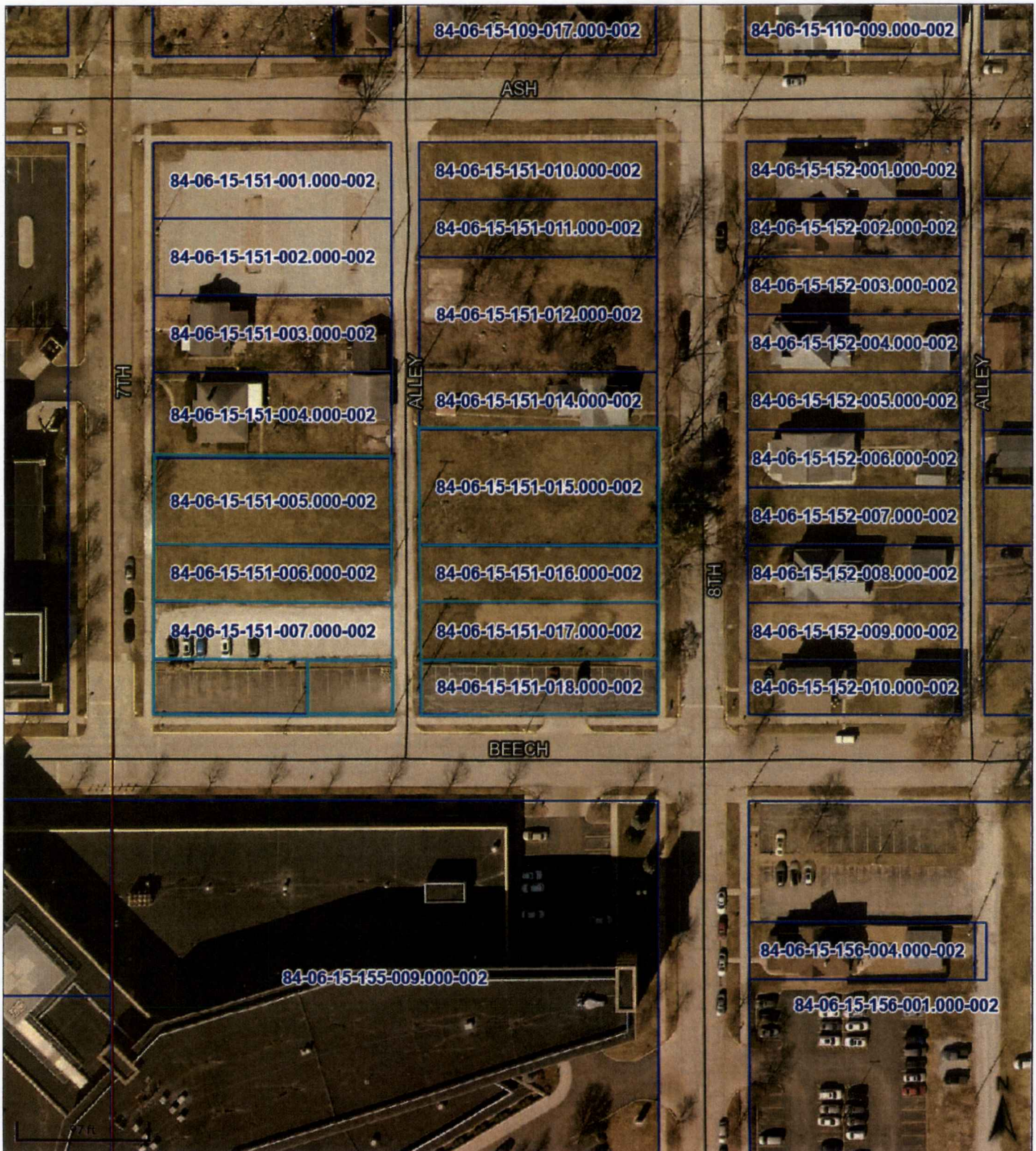


BeaconTM

Vigo County, IN / City of Terre Haute

Docket #86 SO #38-24

N. 7th St. , N.8th St. , Beech



Arriving

On your right: 1704 N Eighth St, Terre Haute

Rate your route



End Route

11/14/2024



11/14/2024



11/14/2024



11/14/2024



11/14/2024



11/14/2024



11/14/2024

COPY

SPECIAL ORDINANCE NO. 38, 2024

APPLICATION FOR REZONING PETITION CITY OF TERRE HAUTE

Common Address of lots to be rezoned:

1705 N. 7th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-007.000-002

720 Beech St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-009.000-002

1701 N. 7th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-008.000-002

1707 N. 7th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-006.000-002

1715 N. 7th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-005.000-002

1700 N. 8th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-018.000-002

1704 N. 8th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-017.000-002

1708 N. 8th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-016.000-002

1716 N. 8th St., Terre Haute, IN 47804
Parcel No. 84-06-15-151-015.000-002

Current Zoning: R-2 Two-Family Residence District
C-1 Neighborhood Commerce District

Rezone To: C-2 Community Commerce District

Proposed Use: Parking lot

Name of Owner: Union Hospital Inc.
1606 North 7th Street
Terre Haute, IN 47804

Phone Number of Owner c/o (812) 234-5463

Attorney Representing Owner: Darrell E. Felling II

Address of Attorney: Lind & Felling
400 Ohio Street, Terre Haute, IN 47807

For Information Contact: ☐ Owner ☒ Attorney

Council Sponsor: James P. Chalos

COPY OF A SITE-PLAN MUST ACCOMPANY THIS APPLICATION

COPY

quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

be and the same is, hereby established as C-2 Community Commerce District, together with all rights and privileges that may inure to said real estate and the owners thereof by virtue of the law in such cases provided, subject to all limitations and restrictions imposed thereon by deed or otherwise.

SECTION II. WHEREAS, an emergency exists for the immediate taking effect of this Ordinance, the same shall be in full force and effect from and after its passage by the Common Council of Terre Haute, and its approval by the Mayor and publication as by law provided.

Introduced by Council Member,

James P. Chalos, Councilperson

Passed in open Council this _____ day of _____, 2024.

Tammy Boland, President

ATTEST:

Michelle Edwards, City Clerk

COPY

SPECIAL ORDINANCE NO. 38, 2024

An Ordinance Amending Chapter 10, Article 2 of the Municipal Code designated as
“Comprehensive Zoning Ordinance for Terre Haute Indiana.”

SECTION 1. BE IT ORDAINED BY THE COMMON COUNCIL of the City of Terre Haute, Vigo County, State of Indiana, that Chapter 10, Article 2 of the City Code of Terre Haute, designated as the “Comprehensive Zoning Ordinance for Terre Haute” and Division 4, Section 10-121 thereof, District Maps, be, and the same is hereby amended to include as follows:

That the following described real estate situated in the City of Terre Haute, County of Vigo, State of Indiana, to-wit:

Lot Number One (1) in Hudson’s Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer’s Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder’s Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson’s Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer’s Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson’s Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencer’s Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW ¼) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number 4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West

COPY

Presented by me, to the Mayor of the City of Terre Haute, this ____ day of _____, 2024,
at ____: ____ .m.

Michelle Edwards, City Clerk

Approved by me, the Mayor of the City of Terre Haute, this ____ day of _____, 2024.

Brandon Sakbun, Mayor

ATTEST:

Michelle Edwards, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law.

/s/ Darrell E. Felling II
Darrell E. Felling II

This instrument prepared by Darrell E. Felling II, Lind & Felling Law Offices, 400 Ohio Street,
Terre Haute, Indiana 47807.

COPY

PETITION TO REZONE REAL PROPERTY

TO: THE PRESIDENT AND MEMBERS OF THE COMMON COUNCIL OF THE CITY
OF TERRE HAUTE, INDIANA;

and THE PRESIDENT AND MEMBERS OF THE AREA PLANNING COMMISSION OF
VIGO COUNTY, INDIANA.

LADIES and GENTLEMEN:

The undersigned, on behalf of Union Hospital Inc., respectfully submits this Petition to
Rezone the following described real estate in the City of Terre Haute, Vigo County, State of
Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot
Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine
(9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen
(15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November
3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo
County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's
Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots
Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's
Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12)
North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot
No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencer's Subdivision of the North
West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal
Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

COPY

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW ¼) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number

4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

The Petitioner is informed and believes that in accordance with Chapter 10, known and referred to as The Comprehensive Zoning Ordinance for Terre Haute, as amended, the above described real estate is now zoned as R-2 Two-Family Residence District or C-1 Neighborhood Commerce District.

Your Petitioner would respectfully state that the real estate is now unoccupied. Your Petitioner intends to use the real estate as a parking lot.

Your Petitioner would request that the real estate described herein shall be zoned as a C-2 Community Commerce District. Your Petitioner would allege that the C-2 Community Commerce District zoning classification would not alter the general characteristics of this neighborhood.

Your Petitioner would respectfully show the proposed change would not be detrimental to the public welfare or injurious to the property or improvements in the neighborhood.

WHEREFORE, your Petitioner respectfully requests that the Area Planning Commission and the Common Council of the City of Terre Haute, Indiana, favorably consider the passage of a Special Ordinance amending the District Maps of Chapter 10, of the Terre Haute City Code entitled The Comprehensive Zoning Ordinance for Terre Haute, Section 10-121 District Maps and declaring the above-described real estate to be part of the C-2 Community Commerce District of the City of Terre Haute, Indiana, and is entitled to the rights and benefits that may accrue to the real estate and the owner thereof by virtue of the new designation subject to all limitations imposed by deed or otherwise.

IN WITNESS WHEREOF, the undersigned Petitioner has caused this Petition to Rezone Real Property to be executed, this ____ day of _____, 2024.

PETITIONER:

Mike Mullins, CHFM, CHSP
System Director of Facilities
Union Hospital Inc.
1606 North 7th Street
Terre Haute, IN 47804

Lind & Felling
400 Ohio Street
Terre Haute, IN 47808
Phone: (812) 232-3388

BY: /s/ Darrell E. Felling II
Darrell E. Felling II #30608-84
Attorney for Petitioner

The owner and mailing address: Union Hospital Inc.
1606 North 7th Street
Terre Haute, IN 47804

COPY

Indiana 47807.

STATE OF INDIANA)
) SS:
COUNTY OF VIGO)

AFFIDAVIT

Comes now, Mike Mullins, for and on behalf of Union Hospital Inc., being duly sworn upon his oath, deposes and says:

1. That Union Hospital Inc. is the fee simple owner of record of the following described real estate located in the City of Terre Haute, County of Vigo, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencers Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot

COPY

Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW ¼) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number 4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

COPY

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

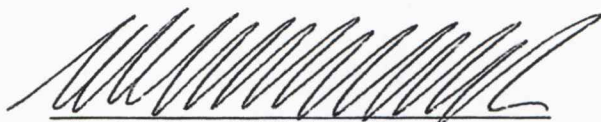
Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

2. That copies of the Deeds, recorded in the records of the Recorder's Office of Vigo County, Indiana, transferring fee simple title to Union Hospital Inc. are attached hereto and made a part hereof and marked as Exhibit A.

3. That Affiant makes this Affidavit for the sole purpose of affirming that Union Hospital Inc. is the owner of record of the above-described real estate for which a proposed change to the zoning map of the City of Terre Haute, Indiana, has been filed and to induce the Common Council of the City of Terre Haute, Indiana, to accept the Petition to Rezone Real Property as filed by Mike Mullins, for and on behalf of Union Hospital Inc..

4. Further, Affiant saith not.

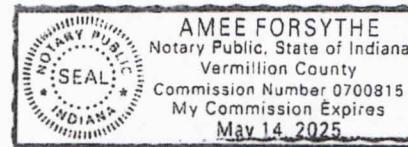
Dated at Terre Haute, Indiana, this 28th day of October, 2024.



Mike Mullins, CHFM, CHSP
System Director of Facilities
Union Hospital Inc.

COPY

STATE OF INDIANA)
) SS:
COUNTY OF VIGO)



SUBSCRIBED AND SWORN TO before me, a Notary Public in and for said County and State, Mike Mullins appeared in person and executed said document, this 28th day of Oct _____ 2024.

Amee Forsythe
Amee Forsythe, Notary Public

My Commission expires:
5/14/2025

My County of Residence:
Vermillion

NOV 13 1997

57 15731

COPY 004193

Frederick Anderson AUDITOR
Vigo County

017716

RECEIVED FOR RECORD

NOV 13 1997

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT DALE WALTON and TARA WALTON, individually and as husband and wife, of Vigo County, in the State of Indiana ("Grantors") CONVEY AND WARRANT TO UNION HOSPITAL, INC., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW 1/4) of Section 15, Township 12 North, Range 9 West.

(Commonly known as 1700 North 8th Street, Terre Haute, Indiana 47804)

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 12th day of November, 1997.

Dale Walton

Dale Walton

Tara Walton

Tara Walton

"GRANTORS"

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 12th day of November, 1997, personally appeared Dale Walton and Tara Walton, individually and as husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

B. Curtis Wilkinson

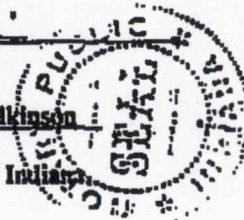
Notary Public

My Commission Expires:

February 9, 2000

Printed Name: B. Curtis Wilkinson

Resident of Vigo County, Indiana



THIS INSTRUMENT PREPARED BY:

Any B. Curtis Wilkinson
333 Ohio St., P.O. Box 800
Terre Haute, IN 47808

MAIL TAX DUPLICATES TO:

Union Hospital, Inc.
ATTN: INTERNAL AUDIT
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

RECEIVED FOR RECORD
AT 4:12 O'CLOCK PM
RECORD 412 PAGE 4196


1997

Paul Mason

RECORDED VIGO COUNTY

MAY 28 2019


VIGO COUNTY AUDITOR

2019005348 WD \$25.00
05/28/2019 02:27:27P 2 PGS
Stacey Todd
VIGO County Recorder IN
Recorded as Presented


COPY

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT **Beverly B. Grubb**, surviving spouse of David W. Grubb, of Terre Haute, Indiana ("Grantor") CONVEYS AND WARRANTS TO **Union Hospital, Inc.**, an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

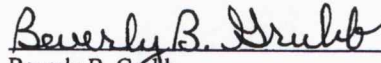
Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

(Commonly known as 1716 North 8th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Beverly B. Grubb who took title with her now deceased husband, David W. Grubb, to the above-described real estate by a Warranty Deed dated June 27, 1984, and recorded on June 28, 1984, at Deed Record 397, Page 468, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Beverly B. Grubb and David W. Grubb continued unbroken from the time they so acquired title to said real estate until the death of David W. Grubb on October 13, 2018, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 28th day of May, 2019.

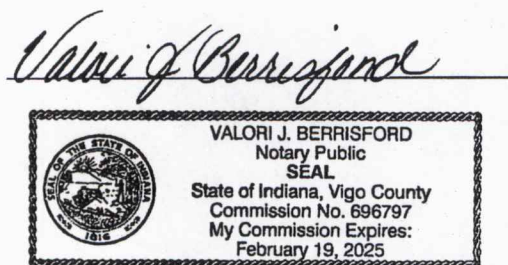

Beverly B. Grubb

2 COPY

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 28th day of May, 2019, personally appeared Beverly B. Grubb and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.



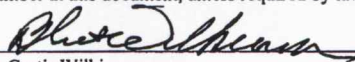
THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.


B. Curtis Wilkinson

WARRANTY DEED

COPY

511

THIS INDENTURE WITNESSETH, That Eric J. Bennett, of Vigo County, State of Indiana, CONVEYS AND WARRANTS to Union Hospital, Inc., a not-for-profit corporation organized and existing under the laws of the State of Indiana, 1606 North Seventh Street, Terre Haute, Indiana 47804, for and in consideration of the sum of One and No/100 (\$1.00) Dollar and other valuable consideration, the receipt of which is hereby acknowledged, the following described Real Estate in Vigo County, in the State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Grantor represents and warrants that he is one and the same person as the Eric Bennett who took title to the above real estate by Warranty Deed from Edgar A. Stapleton and Alice L. Stapleton, which Warranty Deed was dated November 12, 1985, and was recorded in the Recorder's Office of Vigo County, Indiana, on December 20, 1989, at Book Number 403, Page 678.


Grantor further represents and warrants that he is one and the same person as the Eric J. Bennett who, together with Ronald E. Leach, Ed M. Stone and Randall J. Smith d/b/a Erre Investment Company, were contract buyers under a certain contract originally made between Edgar A. Stapleton and Alice L. Stapleton as sellers and such parties as buyers on December 19, 1981. That the said Ronald E. Leach, Ed M. Stone and Randall J. Smith did assign all of their rights, title and interest to such land contract to Eric J. Bennett by a certain Assignment of Conditional Real Estate Sales Contract dated January 1, 1985.

IN WITNESS WHEREOF, The said Grantor, Eric J. Bennett, has hereunto set his hand and seal this 25th day of JANUARY, 1990.

DULY ENTERED FOR TAXATION

Jan 25 19 90

Kenneth D. Thomas
Auditor Vigo County

 (SEAL)
Eric J. Bennett

COPY

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

511

2

Before me, the undersigned, Notary Public in and for said County and State, this 25th day of January, 1990, personally appeared Eric J. Bennett, Grantor in the above conveyance, and acknowledged the execution of above and foregoing Warranty Deed.

WITNESS my hand and Notarial Seal.



B. Curtis Wilkinson
B. CURTIS WILKINSON Notary Public
Resident of VIGO County, Indiana

Mail tax duplicates to:
Union Hospital, Inc.
1606 North Seventh
Terre Haute, Indiana 47804

This instrument prepared by B. Curtis Wilkinson, Attorney At Law, 333 Ohio Street, P. O. Box 1567, Terre Haute, Indiana 47808.

RECEIVED FOR RECORD THE 25 DAY OF Jan 1990 AT 3:45 CLOCK P.M.
RECORD 421 PAGE 511 JUDITH ANDERSON, RECORDER

SEP 29 2017

James W. Bramble
VIGO COUNTY AUDITOR

2017009834 WD \$25.00
09/29/2017 01:42:26P 1 PGS
Stacey Joy
VIGO County Recorder IN
Recorded as Presented


COPY

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT **Barbara G. Grubb**, unmarried widow, of Terre Haute, Indiana, acting herein by and through David W. Grubb, her Attorney-in-Fact, duly appointed and acting pursuant to a Power of Attorney dated September 11, 2015, and recorded on September 18, 2017 with the Recorder of Vigo County, Indiana, being assigned Instrument No. 2017009369PO ("Grantor") does hereby CONVEY AND WARRANT TO **Union Hospital, Inc.**, an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number 58 in Hudson's Subdivision as corrected by Josphus Collett of Lot Number 4 and part of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

(Commonly known as 1708 North 8th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Barbara G. Grubb who took title with her now deceased husband, Bernard W. Grubb, to the above-described real estate by a Warranty Deed dated June 10, 1952, and recorded on June 16, 1952, at Deed Record 271, Page 261, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Barbara G. Grubb and Bernard W. Grubb continued unbroken from the time they so acquired title to said real estate until the death of Bernard W. Grubb on March 7, 2014, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.


IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 29th day of September, 2017.

Barbara G. Grubb by David W. Grubb POA
Barbara G. Grubb, by David W. Grubb POA

STATE OF INDIANA)
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 29th day of September, 2017, personally appeared Barbara G. Grubb, by David W. Grubb, POA and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Berrisford

VALORI J BERRISFORD
Notary Public, State of Indiana
Vigo County
My Commission Expires
February 19, 2025

THIS INSTRUMENT PREPARED BY:
Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807


MAIL TAX DUPLICATES TO:
Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

DULY ENTERED FOR TAXATION
Subject to final acceptance for transfer

OCT 09 2012

2012015307 WD \$16.00
10/09/2012 03:03:20P 1 PGS
NANCY S. ALLSUP
VIGO County Recorder IN
Recorded as Presented


COPY

Timothy R. Leavitt
VIGO COUNTY CLERK TOR

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT **Billie F. Leavitt**, of Terre Haute, Indiana ("Grantor") CONVEYS AND WARRANTS TO **Union Hospital, Inc.**, an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

(Commonly known as 1715 North 7th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Billie F. Leavitt who took title with her now deceased husband, Robert E. Leavitt, Sr., to the above-described real estate by a Warranty Deed dated and recorded on July 21, 1972, at Deed Record 356, Page 958-2, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Billie F. Leavitt and Robert E. Leavitt, Sr. continued unbroken from the time they so acquired title to said real estate until the death of Robert E. Leavitt, Sr. August 22, 2010, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 5th day of October, 2012.

Billie F. Leavitt
Billie F. Leavitt

STATE OF INDIANA)
) :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 5th day of October, 2012, personally appeared Billie F. Leavitt and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Berrisford
Valori J. Berrisford, Notary Public

Resident of Vigo County, Indiana

THIS INSTRUMENT PREPARED BY:
Atty. B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:
Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

DULY ENTERED FOR TAXATION
Subject to final acceptance for transfer

APR 26 2016

Timothy M. Allsup
VIGO COUNTY AUDITOR

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT **David L. Pettyjohn and Roshelle R. Pettyjohn**, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO **Union Hospital, Inc.**, an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

(Commonly known as 1707 North 7th Street, Terre Haute, Indiana 47804).

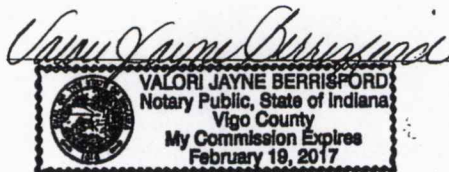
IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 22nd day of April, 2016.

David L. Pettyjohn
David L. Pettyjohn
Roshelle R. Pettyjohn
Roshelle R. Pettyjohn

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 22nd day of April, 2016, personally appeared David L. Pettyjohn and Rosehelle R. Pettyjohn, husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.



THIS INSTRUMENT PREPARED BY:
Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:
Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.


B. Curtis Wilkinson
B. Curtis Wilkinson

2016004140 WD \$16.00
04/26/2016 11:59:22A 1 PGS
NANCY S. ALLSUP
VIGO County Recorder IN
Recorded as Presented

COPY

JUN 02 2016

James M. Sigurdson
VIGO COUNTY AUDITOR

2016005584 WD \$16.00
06/02/2016 02:52:57P 1 PGS
NANCY S. ALLSUP
VIGO County Recorder IN
Recorded as Presented


COPY

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Nick Tschudny and Kathy H. Tschudny, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3- 5- 6-7-8-9 and 10 of Spencers Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

(Commonly known as 1705 North 7th Street, Terre Haute, Indiana 47804).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 2nd day of June, 2016.

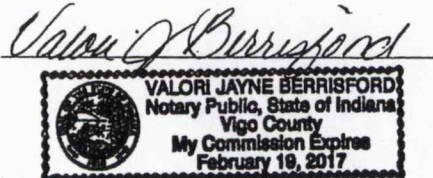
Nick Tschudny
Nick Tschudny

Kathy H. Tschudny
Kathy H. Tschudny

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 2nd day of June, 2016, personally appeared Nick Tschudny and Kathy H. Tschudny, husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.



THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:


Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

JUL 01 2011

Timothy M. Applegate
VIGO COUNTY AUDITOR

2011008198 WD \$16.00
07/01/2011 02:27:25P 1 PGS
NANCY S. ALLSUP
VIGO County Recorder IN
Recorded as Presented


WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT **Stanley E. Kerr and Melody L. Kerr**, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO **Union Hospital, Inc.**, an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

(Commonly known as **1704 North 8th Street, Terre Haute, Indiana 47804**).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 1st day of July, 2011.

Stanley E. Kerr
Stanley E. Kerr
Melody L. Kerr
Melody L. Kerr

STATE OF INDIANA)
 :SS
COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 1st day of July, 2011, personally appeared Stanley E. Kerr and Melody L. Kerr and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Bernsford
Valori J. Bernsford, Notary Public

My Commission Expires
February 19, 2017

Resident of Vigo County, Indiana

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84
Wilkinson, Goeller, Modesitt,
Wilkinson & Drummy, LLP
333 Ohio Street
Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

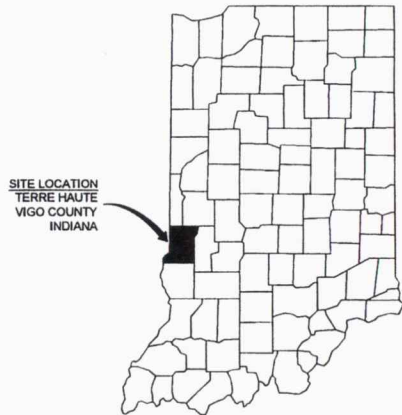
Union Hospital, Inc.
ATTN: ACCOUNTING
1606 North 7th Street
Terre Haute, IN 47804
Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson
B. Curtis Wilkinson

CONSTRUCTION PLANS FOR UNION HOSPITAL NEW PARKING VIGO COUNTY, INDIANA

PART OF THE NW ¼ OF SECTION 15, TOWNSHIP 12N, RANGE 9W
HARRISON TOWNSHIP

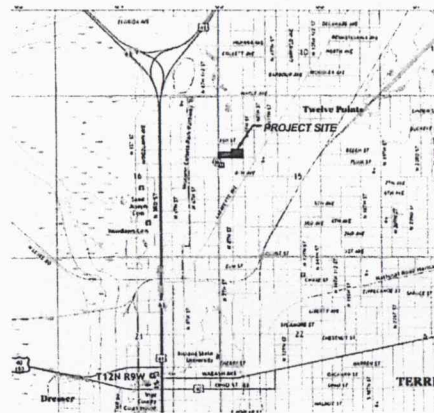


- INDEX -

SHEET NUMBER	DESCRIPTION
C001	TITLE SHEET
C002	GENERAL NOTES AND LEGEND
C003	EXISTING CONDITIONS
C101	SITE PLANS
C201	GRADING AND DRAINAGE PLAN
C401	SWPPP
C402	EROSION CONTROL PLAN
C403	EROSION CONTROL PLAN DETAILS
C901	STANDARD SPECIFICATIONS



LOCATION MAP
SCALE: 1" = 1000'



LOCATION MAP
TERRE HAUTE QUAD
SCALE: 1" = 2000'



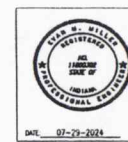
Latitude 39°28'12"N
Longitude 87°24'23"W

OWNER:
UNION HOSPITAL INC.
MIKE MULLINS
1606 N 7TH STREET
TERRE HAUTE, IN 47804
(812)-232-4311

ENGINEER:
ALIGN CEC, INC.
EVAN MILLER, P.E.
1216 S. 3RD STREET
TERRE HAUTE, IN 47802
(812) 238-9731
EMILLER@ALIGNCEC.COM

ALIGN

PLANS PREPARED BY: *EVAN MILLER*
EVAN MILLER, P.E.



DATE: 07-29-2024

COPY

1. ALL MATERIALS AND WORKSMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES AND INDUSTRY STANDARD.
2. THE ENGINEER HAS APPLIED FOR CONSTRUCTION PERMITS FROM IDEM FOR CSOP EROSION CONTROL AND TO THE CITY OF TERRE HAUTE FOR SITE DEVELOPMENT APPROVAL. THE CONTRACTOR SHALL OBTAIN ALL OTHER PERMITS AND PAY ALL FEES REQUIRED TO CONSTRUCT THE PROJECT.
3. ROAD CLOSURES ARE PERMITTED ONLY WITH APPROVAL FROM THE CITY OF TERRE HAUTE.
4. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LACK OF LOCATION OR MISSED LOCATION OF EXISTING UTILITIES. ALL LOCATIONS, SIZES, AND INVERTS OF EXISTING UTILITIES SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE. HOWEVER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT SUCH INFORMATION IS TRUE OR EVEN APPROXIMATE. THE CONTRACTOR SHALL DETERMINE WHICH UTILITIES CONFLICT WITH THE PROPOSED CONDUIT LOCATIONS AND MAKE ANY NECESSARY ADJUSTMENTS. IF THERE IS A CONFLICT, THE CONTRACTOR SHALL ADJUST WORK ACCORDINGLY AND NOTIFY THE ENGINEER OF ANY SUCH CONFLICTS. THE CONTRACTOR SHALL REFER TO APPLICABLE SECTIONS OF THE CONTRACT SPECIFICATIONS RELATIVE TO THE ABOVE. THE CONTRACTOR SHALL NOTIFY ANY CITY COMPANIES AND VERIFY ALL UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH UTILITY COMPANIES FOR PLANNED RELOCATION WORK.
5. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF OVERHEAD OBSTRUCTIONS, ESPECIALLY OVERHEAD ELECTRIC LINES.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO AVOID EXISTING UTILITIES, AND PERFORM ANY REQUIRED REPAIRS. IN ADDITION TO ALL UTILITY LINES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COMPANY AND REPAIRS TO BURIED FIBER OPTIC CABLE, FIELD DRAINAGE TILES, AND PRIVATE IRRIGATION SYSTEMS. THE CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER WHEN UTILITIES OR OTHER SUBSURFACE LINES ARE DAMAGED. INDIANA UNDERGROUND UTILITIES PROTECTION SERVICE SHALL BE NOTIFIED AT LEAST 48 HOURS PRIOR TO BEGINNING ANY WORK. INDIANA UNDERGROUND UTILITIES PROTECTION SERVICE TELEPHONE NUMBER IS 811.
7. THE ENGINEER SHALL BE NOTIFIED OF ANY FIELD TILES FOUND DURING CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL AT HIS EXPENSE, REPAIR THE DAMAGED PORTION AND, IF NECESSARY, EXTEND THE TILE TO THE NEAREST STORM INLET, MANHOLE, OR POINT OF POSSIBLE OUTLET IN ACCORDANCE WITH LOCAL-STATE REQUIREMENTS, AND AS DIRECTED BY THE ENGINEER.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER NEEDED FOR ANY TESTING, CLEANING, ETC.
9. PIPE APPURTENANCES ARE NOT SPECIFICALLY CALLED OUT ON THE PLANS. THE CONTRACTOR'S BID SHALL INCLUDE ALL APPURTENANCES NECESSARY FOR CONSTRUCTION.
10. THE COORDINATE VIEWS SHOWN ARE IN THE INDIANA STATE PLANE COORDINATE SYSTEM WEST ZONE ON THE 1983 NORTH AMERICAN DATUM, US SURVEY FEET. SITE CONTOURS WERE GENERATED FROM A FIELD SURVEY.
11. ALL GRADES ARE TO BE VERIFIED IN THE FIELD. THE ENGINEER RESERVES THE RIGHT TO ADJUST GRADES TO MINIMIZE GRADING AFTER FIELD STUDY.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
13. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED BY THE UTILITY COMPANY IN WRITING.
14. ALL CONSTRUCTION SHALL BE PERFORMED IN A MANNER THAT DOES NOT ALLOW ERODED SOIL TO LEAVE THE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE AND SOIL CONDITIONS ARE STABILIZED ACCORDING TO THE EROSION CONTROL PLAN & SPECIFICATIONS. KEEP ALL MUD, STONE RESIDUE, AND OTHER WATER-BORN MATERIAL OFF OF THE PAVEMENT SURFACE.
15. ALL AREAS DISTURBED BY CONSTRUCTION AND DESIGNATED FOR GRASS, INCLUDING THE FILLED AREA BEHIND CURB SHALL BE GRADED FOR POSITIVE DRAINAGE WITH A MINIMUM OF 0% OF TOPSOIL. ALL AREAS SHALL BE PREPARED, FERTILIZED, PLANTED, AND MULCHED BY THE CONTRACTOR.
16. PAVEMENT MARKINGS SHALL BE PLACED IN ACCORDANCE WITH MUTCD, LATEST REVISION.
17. CONTRACTOR SHALL BE RESPONSIBLE FOR QUALITY CONTROL. THE OWNER MAY CHOOSE TO HAVE INDEPENDENT INSPECTION OR TESTING FOR VARIOUS ITEMS. THE OWNER DOES NOT RELIEVE THE CONTRACTOR OF HIS OBLIGATIONS TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS, OR TO PERFORM HIS/HER OWN TESTING TO ENSURE THEY ARE IN COMPLIANCE WITH THE SPECIFICATIONS.
18. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

1. SUBGRADE SHALL BE PREPARED AND COMPACTED IN ACCORDANCE WITH INDOT STANDARD SPEC SECTION 207, SUBGRADE TREATMENT TYPE III. COST OF SUBGRADE PREPARATION SHALL BE INCLUDED IN THE COST OF OTHER PAY ITEMS. CONTRACTOR SHALL PROVIDE A MINIMUM 24-HR NOTICE TO OWNER AND ENGINEER FOR SCHEDULED PROOFROLL ACTIVITIES.
2. A GEOTECHNICAL REPORT WAS NOT PROVIDED BY OWNER OR ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SOIL SUITABILITY FOR SITE CONSTRUCTION. THIS SHALL INCLUDE ANY ADDITIONAL INVESTIGATIONS OR TESTING DURING CONSTRUCTION.

TERRE HAUTE ENGINEERING
DEPARTMENT
CITY ENGINEER - MARCUS MAURER, P.E.
ENGINEERING@TERREHAUTE.IN.GOV
(812) 244-4903

BENCHMARK #243
(BENCH TIE IN UTILITY POLE)
N: 1543857.751
E: 2861557.701
EL = 494.00'

ACP #1
N: 1543831.215
E: 2861534.367
EL = 491.76'

ACP #2 (P.K. NAIL)
N: 1543777.747
E: 2861801.809
EL = 492.92'

ACP #3
N: 1544001.983
E: 2861568.772
EL = 491.42'

INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION, SHALL BE USED WITH THESE PLANS.

Existing Linework

- CHINA LINK FENCE
- FENCE
- NOVA FENCE
- FIBER OPTIC LINE
- GAZ LINE
- OVERHEAD ELECTRIC
- OVERHEAD TELEPHONE
- OVERHEAD CABLES
- ANALOGY TRUCK
- SHAWBURY SINKER
- STORM SINKER
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- WATER LINE

[illegible][illegible]

SECTION 15, TOWNSHIP 9 NORTH, RANGE 9
WEST OF THE SECOND PRINCIPAL
MERIDIAN, HARRISON TOWNSHIP, CITY OF
TERRE HAUTE, VIGO COUNTY, INDIANA

1705 N 7TH ST.
TERRE HAUTE, IN 47804

ALIGN

265 S. Jackson Street, Suite B
Greencastle, IN 46135
812.238.9731



CLIENT

RECORD OWNER
UNION HOSPITAL INC

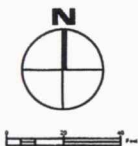
PROJECT NUMBER	24-111
DATE	8/26/2022
DRAWN BY	CA
CHECKED BY	EM
APPROVED BY	EM
SCALE	
FILE NAME	24-111_Cad.dwg

UNION
HOSPITAL
PARKING

EXISTING
CONDITION

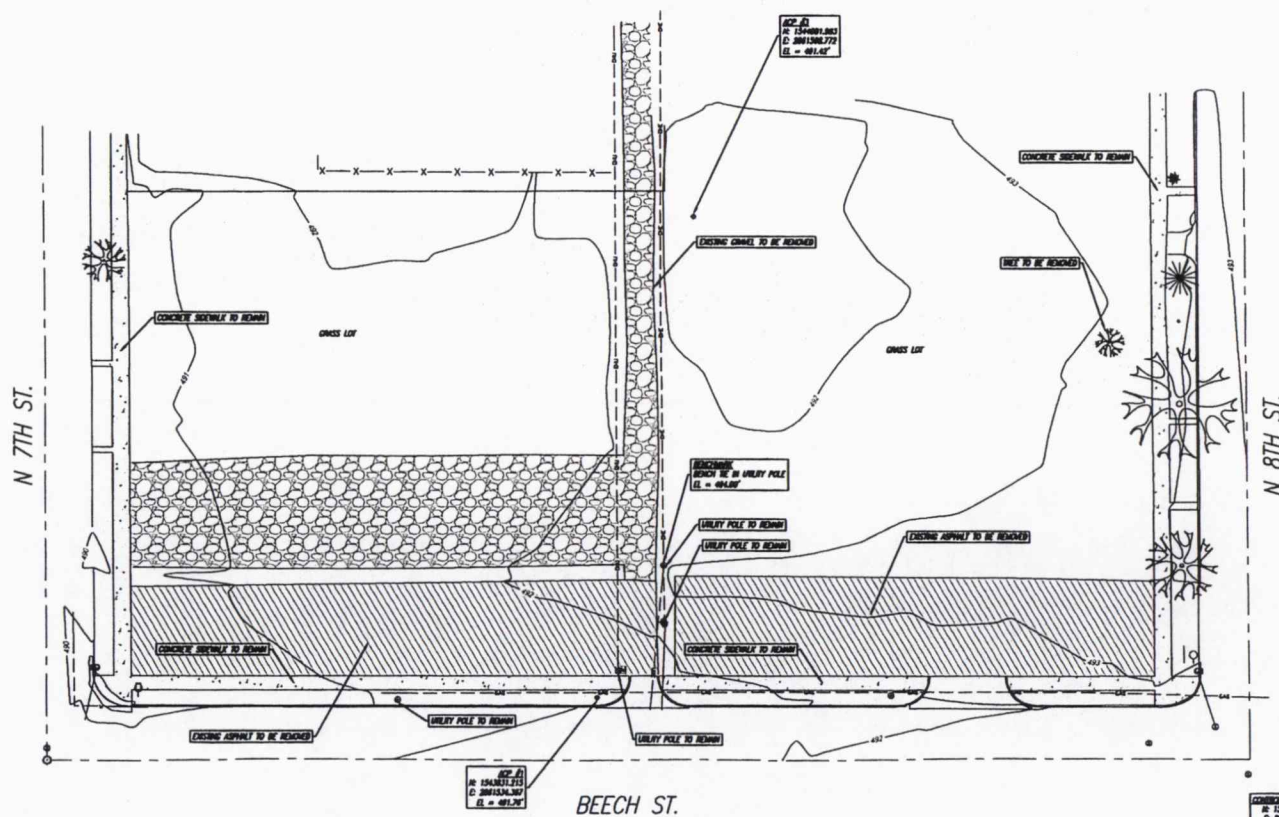
C002

GO P Y



SITE LEGEND

-  EXISTING CONCRETE SIDEWALK
-  EXISTING ASPHALT
-  EXISTING GRAVEL



The locations of underground utilities as shown herein are based on above ground structures and/or field notes, and record drawings provided by others. The actual locations of which may vary upon a more detailed subsurface inspection. No excavations were made for purpose of this survey. Before proceeding with any excavation, the proper offices should be contacted for the verification of utility types and/or locations.

REV	DATE	BY	CHECKED
1	08.13.24		
REVISIONS			
CITY COMMENTS			
BY			
DATE			

SECTION 15, TOWNSHIP 8 NORTH, RANGE 8
 MERIDIAN, HARRISON TOWNSHIP, CITY OF
 TERRE HAUTE, WAGO COUNTY, INDIANA

1700 N 7TH ST.
 TERRE HAUTE, IN 47604

ALIGN

1216 S. Jackson Street, Suite B
 Terre Haute, IN 47604
 812.248.9371
 ALIGN@GMAIL.COM



CLIENT
 UNION HOSPITAL INC.

REGISTERED OWNER
 UNION HOSPITAL INC.

PROJECT NUMBER: 24-111
 DATE: 07/20/2024
 DRAWN BY: CMT
 CHECKED BY: EMM
 APPROVED BY: EMM
 SCALE: 1"=20'
 FILE NAME: 24-111_01.dwg

UNION
 HOSPITAL
 PARKING

EXISTING
 CONDITIONS

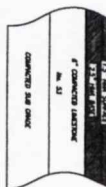
C003

COPY

The locations of underground utilities as shown herein are based on utility records. The actual locations of such utilities may vary from those shown. It is the responsibility of the user of this plan to verify the locations of such utilities before construction. The user of this plan is advised that the user of this plan is not to be held responsible for the accuracy of the utility records shown.



NOTES:
 1) CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS ADOPTED BY THE BOARD OF SUPERVISORS OF THE COUNTY OF VIGO, INDIANA.
 2) ALL UTILITIES SHALL BE PROTECTED AND DEEPENED TO A MINIMUM OF 48" BELOW THE FINISHED GRADE.
 3) ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW THE FINISHED GRADE.
 4) ALL UTILITIES SHALL BE DEEPENED TO A MINIMUM OF 48" BELOW THE FINISHED GRADE.



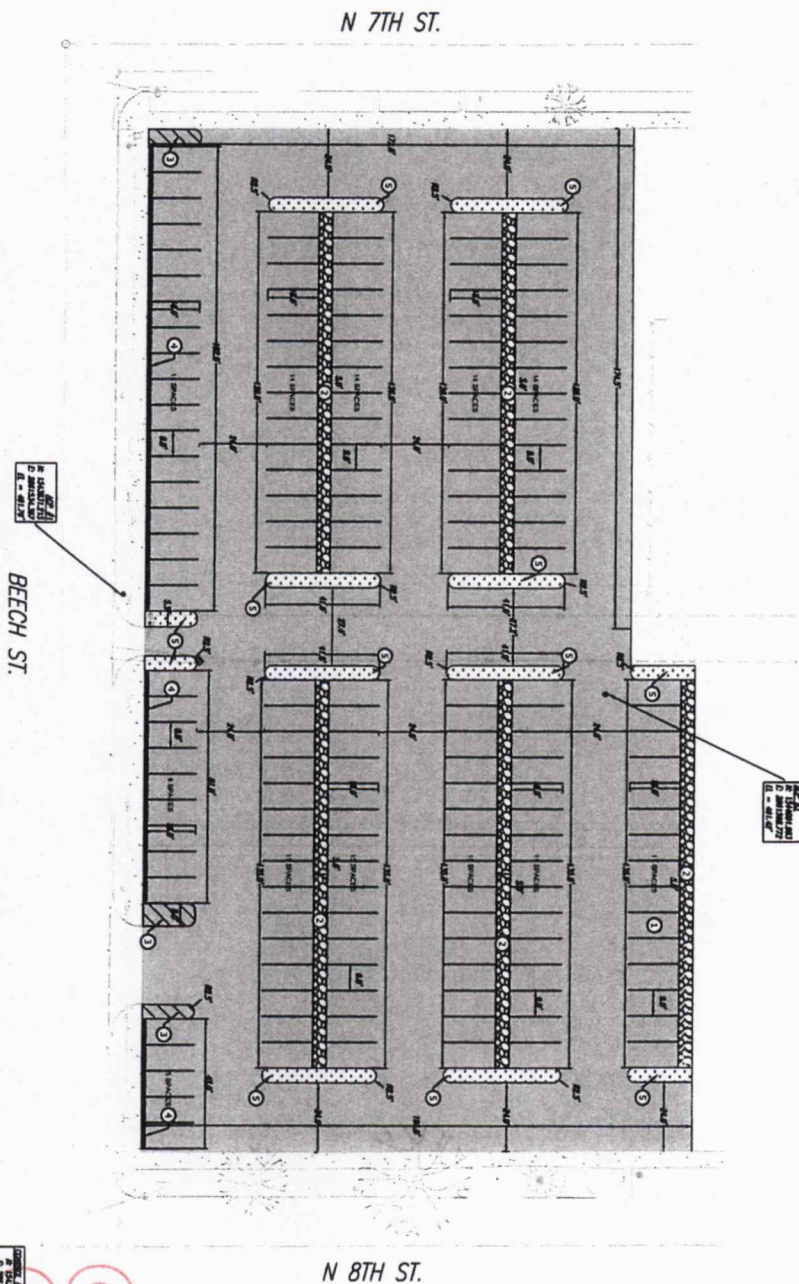
NOTE:
 ANY EXISTING CONCRETE SURFACING DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.



168 TOTAL PAINTED PARKING SPACES (WITH 0.25 WIDE STRIPS)

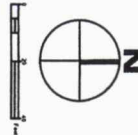
- 1 STANDARD PARKING (9' X 18')
- 2 INFILTRATION TRENCH (SEE DETAIL ON SHEET C201)
- 3 PAVEMENT STRIPING (TYP)
- 4 WHEEL STOP (TYP)
- 5 LANDSCAPING (COORDINATE WITH OWNER)

SITE LEGEND



COPY

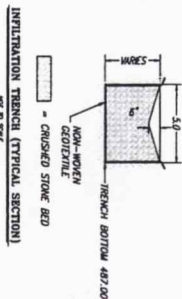
 ALIGN <small>1295 E. Jackson Street, Suite B Terre Haute, IN 47803 765.513.8710</small>	 DAVID L. SMITH <small>REGISTERED PROFESSIONAL ENGINEER No. 12345 State of Indiana</small>	UNION HOSPITAL <small>1705 N 7TH ST. TERRE HAUTE, IN 47804</small>	SECTION 15, TOWNSHIP 9 NORTH, RANGE 9 WEST OF THE SECOND PRINCIPAL MERIDIAN, HARRISON TOWNSHIP, CITY OF TERRE HAUTE, VIGO COUNTY, INDIANA	NO.	DATE	REVISIONS	BY	CHECKED
				1	06.13.24	CITY COMMENTS	EW	EW



GRADING LEGEND

- EXISTING CONTOURS
- DESIGN CONTOURS
- DESIGN SPOT ELEVATION
- EXISTING
- EXISTING

DRAINAGE SUMMARY		
PRE-DEVELOPED	1.19 (IN)	10.4%
POST-DEVELOPED	1.19 (IN)	10.4%



INTEGRATION TRENCH (TYPICAL SECTION)



The location of underground utilities as shown herein are based on above ground structures and/or field location and are not intended to be a guarantee of the location of any underground utility. The user of this plan is responsible for the location of any underground utility. The user of this plan is responsible for the location of any underground utility.

N 7TH ST.

BEECH ST.

N 8TH ST.

COPY

ALIGN

1295 S. Jackson Street, Suite B
Greencastle, IN 46135
765.653.8700

ALIGNCE.COM

1214 S. 3rd Street
Terre Haute, IN 47802
812.234.9731

TERRE HAUTE, IN 47804

NO.	DATE	REVISIONS	BY	CHECKED
1	06.13.24	CITY COMMENTS	EMM	EMM

SECTION 15, TOWNSHIP 9 NORTH, RANGE 9
WEST OF THE SECOND PRINCIPAL
MERIDIAN, HARRISON TOWNSHIP, CITY OF
TERRE HAUTE, VIRGO COUNTY, INDIANA

1705 N 7TH ST.
TERRE HAUTE, IN 47804

UNION HOSPITAL
PARKING
GRADING AND
DRAINAGE PLAN
C201



Location Map
Not to Scale



EROSION CONTROL LEGEND

- ① SILT FENCE
- ② CONSTRUCTION ENTRANCE
- ③ TOPSOIL STOCKPILE

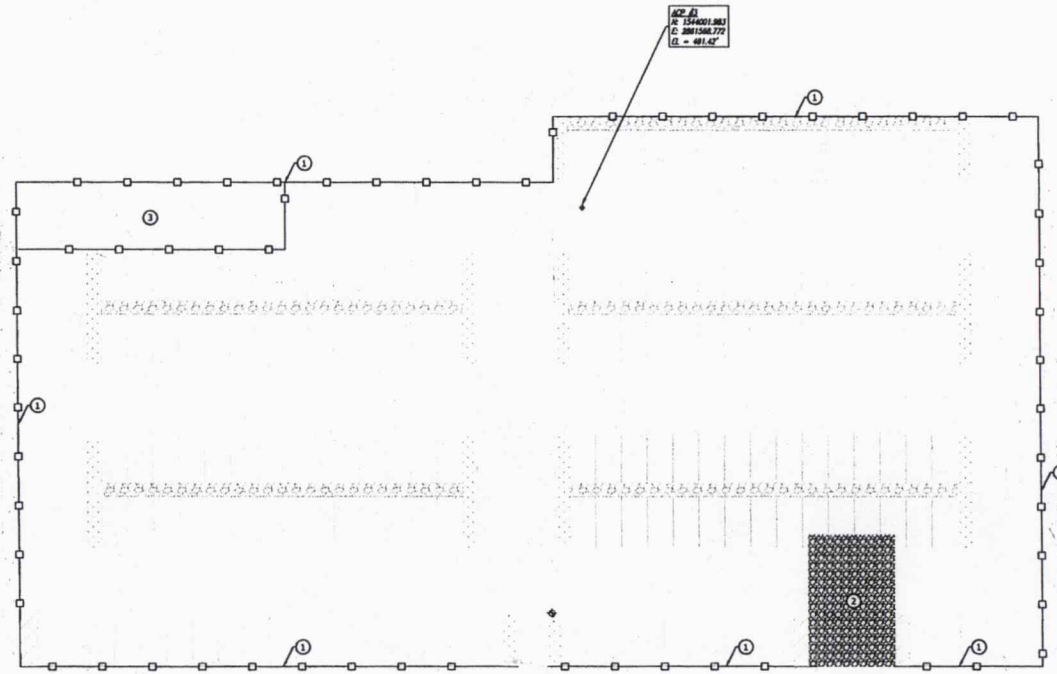
NOTES

1. ANY NEWLY GRADED AREA WITH A SIDE SLOPE 3:1 OR GREATER SHALL BE LINED WITH EROSION CONTROL BLANKET.
2. ALL AREAS LEFT UNDISTURBED FOR 7 DAYS OR MORE SHALL HAVE TEMPORARY SEEDING APPLIED ACCORDING TO THE ATTACHED SPECIFICATIONS. IF CONSTRUCTION IS COMPLETED IN AN AREA, PERMANENT SEEDING MAY BE APPLIED INSTEAD OF TEMPORARY. TEMPORARY SEEDING SHALL BE APPLIED AS FOLLOWS:

SEED SPECIES	RATE/ACRE	PLANTING DEPTH	OPTIMUM DATES
WHEAT OR RYE	120 LBS.	1 TO 1.5 IN.	8/15 TO 10/10
SPRING OATS	120 LBS.	1 IN.	3/1 TO 4/15
ANNUAL RYEGRASS	40 LBS.	N/A	3/1 TO 5/1 & 8/1 TO 9/1
GERMAN MILLET	40 LBS.	1 TO 2 IN.	5/1 TO 6/1
SUDANGRASS	40 LBS.	1 TO 2 IN.	5/1 TO 7/15
BUCKWHEAT	40 LBS.	1 TO 2 IN.	4/15 TO 6/1
CORN (BROADCAST)	300 LBS.	1 TO 2 IN.	5/1 TO 8/15
SORGHUM	30 LBS.	1 TO 2 IN.	5/1 TO 8/15

3. ONCE CONSTRUCTION IS COMPLETED IN AREAS OUTSIDE OF THE PAVING LIMITS, PERMANENT SEEDING IS TO TAKE PLACE. THIS IS TO BE DONE ACCORDING TO THE SPECIFICATIONS FOR PERMANENT SEEDING IN THE IDEM INDIANA STORM WATER QUALITY MANUAL. THE SPECIFICATIONS STATE WHAT TYPE OF SEED MIXES ARE TO BE USED AND HOW TO APPLY THEM. OPTIMUM SEEDING DATES ARE MARCH 1 TO MAY 15 AND AUGUST 15 TO SEPTEMBER 15. SEEDING DONE BETWEEN MAY 15 AND AUGUST 15 MAY REQUIRE IRRIGATION. AS AN ALTERNATIVE, TEMPORARY SEEDING MAY BE USED UNTIL THE OPTIMUM DATES FOR PERMANENT SEEDING.

N 7TH ST.



BEECH ST.

N 8TH ST.

CONTROL POINT #1
R: 1543777.747
C: 2061667.869
G: -482.83'



The locations of underground utilities as shown herein are based on above ground structures and/or field location, and record drawings provided by others, the actual locations of which may vary upon a more detailed sub-surface inspection. No excavations were made for purpose of this survey. Before proceeding with any excavation, the proper offices should be contacted for the verification of utility poles and/or locations.

COPY

REV	DATE	REVISIONS	BY	CHECKED
1	08/13/24	CITY COMMENTS	EMM	EMM

SECTION 15, TOWNSHIP 9 NORTH, RANGE 9
WEST OF THE SECOND PRINCIPAL
MERIDIAN, VIGO COUNTY, INDIANA
TERRE HAUTE, VIGO COUNTY, INDIANA

1705 N 7TH ST.
TERRE HAUTE, IN 47604

ALIGN
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TEL: 317.235.7575
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TEL: 317.235.7575
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SUBMIT
UNION HOSPITAL INC.

RECORD DOWNS
UNION HOSPITAL INC.

PROJECT NUMBER: 24-111
DATE: 08/08/24
DRAWN BY: CAT
CHECKED BY: EMM
APPROVED BY: EMM
SCALE: 1"=20'
FILE NAME: 24-111_Civil.dwg

UNION
HOSPITAL
PARKING

EROSION
CONTROL PLAN

C402

