SPECIAL ORDINANCE NO. 38, 2024

APPLICATION FOR REZONING PETITION CITY OF TERRE HAUTE

Common Address of lots to be rezoned:

1705 N. 7 th St., Terre Haute, IN 47804	720 Beech St., Terre Haute, IN 47804	
Parcel No. 84-06-15-151-007.000-002	Parcel No. 84-06-15-151-009.000-002	
1701 N. 7th St., Terre Haute, IN 47804	1707 N. 7th St., Terre Haute, IN 47804	
Parcel No. 84-06-15-151-008.000-002	Parcel No. 84-06-15-151-006.000-002	
1715 N. 7 th St., Terre Haute, IN 47804	1700 N. 8th St., Terre Haute, IN 47804	
Parcel No. 84-06-15-151-005.000-002	Parcel No. 84-06-15-151-018.000-002	
1704 N. 8th St., Terre Haute, IN 47804	1708 N. 8th St., Terre Haute, IN 47804	
Parcel No. 84-06-15-151-017.000-002	Parcel No. 84-06-15-151-016.000-002	
1716 N. 8th St., Terre Haute, IN 47804		
Parcel No. 84-06-15-151-015.000-002		

Current Zoning: <u>R-2 Two-Family Residence District</u>

C-1 Neighborhood Commerce District

Rezone To: <u>C-2 Community Commerce District</u>

Proposed Use: Parking lot

Name of Owner: <u>Union Hospital Inc.</u>

1606 North 7th Street Terre Haute, IN 47804

Phone Number of Owner <u>c/o (812) 234-5463</u>

Attorney Representing Owner: <u>Darrell E. Felling II</u>

Address of Attorney: <u>Lind & Felling</u>
400 Ohio Street, Terre Haute, IN 47807

For Information Contact: [] Owner [x] Attorney

Council Sponsor: <u>James P. Chalos</u>

COPY OF A SITE-PLAN MUST ACCOMPANY THIS APPLICATION

SPECIAL ORDINANCE NO. 38, 2024

CITY CLERK

An Ordinance Amending Chapter 10, Article 2 of the Municipal Code designated as "Comprehensive Zoning Ordinance for Terre Haute Indiana."

SECTION 1. BE IT ORDAINED BY THE COMMON COUNCIL of the City of Terre Haute, Vigo County, State of Indiana, that Chapter 10, Article 2 of the City Code of Terre Haute, designated as the "Comprehensive Zoning Ordinance for Terre Haute" and Division 4, Section 10-121 thereof, District Maps, be, and the same is hereby amended to include as follows:

That the following described real estate situated in the City of Terre Haute, County of Vigo, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

.....

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW 1/4) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number 4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West

quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

be and the same is, hereby established as C-2 Community Commerce District, together with all rights and privileges that may inure to said real estate and the owners thereof by virtue of the law in such cases provided, subject to all limitations and restrictions imposed thereon by deed or otherwise.

SECTION II. WHEREAS, an emergency exists for the immediate taking effect of this Ordinance, the same shall be in full force and effect from and after its passage by the Common Council of Terre Haute, and its approval by the Mayor and publication as by law provided.

Introduced by Council Member,

James P. Chalos, Councilperson

Passed in open Council this 5 day of December, 2024.

Tammy Boland, President

ATTEST:

Michelle Edwards, City Clerk

Presented by me, to the Mayor of the City of Terre Haute, this day of lecember 2024, at 2:00 p.m. Michelle Edwards, City Clerk
Approved by me, the Mayor of the City of Terre Haute, this the day of December 2024.
Brandon Sakbun, Mayor
ATTEST:
Michelle Kolwards Michelle Edwards, City Clerk

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law.

/s/ Darrell E. Felling II
Darrell E. Felling II

This instrument prepared by Darrell E. Felling II, Lind & Felling Law Offices, 400 Ohio Street, Terre Haute, Indiana 47807.

PETITION TO REZONE REAL PROPERTY

- TO: THE PRESIDENT AND MEMBERS OF THE COMMON COUNCIL OF THE CITY OF TERRE HAUTE, INDIANA;
- and THE PRESIDENT AND MEMBERS OF THE AREA PLANNING COMMISSION OF VIGO COUNTY, INDIANA.

LADIES and GENTLEMEN:

The undersigned, on behalf of Union Hospital Inc., respectfully submits this Petition to Rezone the following described real estate in the City of Terre Haute, Vigo County, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW ¼) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number

4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

The Petitioner is informed and believes that in accordance with Chapter 10, known and referred to as The Comprehensive Zoning Ordinance for Terre Haute, as amended, the above described real estate is now zoned as R-2 Two-Family Residence District or C-1 Neighborhood Commerce District.

Your Petitioner would respectfully state that the real estate is now unoccupied. Your Petitioner intends to use the real estate as a parking lot.

Your Petitioner would request that the real estate described herein shall be zoned as a C-2 Community Commerce District. Your Petitioner would allege that the C-2 Community Commerce District zoning classification would not alter the general characteristics of this neighborhood.

Your Petitioner would respectfully show the proposed change would not be detrimental to the public welfare or injurious to the property or improvements in the neighborhood.

WHEREFORE, your Petitioner respectfully requests that the Area Planning Commission and the Common Council of the City of Terre Haute, Indiana, favorably consider the passage of a Special Ordinance amending the District Maps of Chapter 10, of the Terre Haute City Code entitled The Comprehensive Zoning Ordinance for Terre Haute, Section 10-121 District Maps and declaring the above-described real estate to be part of the C-2 Community Commerce District of the City of Terre Haute, Indiana, and is entitled to the rights and benefits that may accrue to the real estate and the owner thereof by virtue of the new designation subject to all limitations imposed by deed or otherwise.

IN WITNESS WHEREOF, the undersigned Petitioner has caused this Petition to Rezone Real Property to be executed, this 28 day of ________, 2024.

PETITIONER:

Mike Mullins, CHFM, CHSP System Director of Facilities Union Hospital Inc. 1606 North 7th Street Terre Haute, IN 47804

Lind & Felling 400 Ohio Street Terre Haute, IN 47808 Phone: (812) 232-3388

BY: /s Darrell E. Felling II
Darrell E. Felling II #30608-84
Attorney for Petitioner

The owner and mailing address:

Union Hospital Inc. 1606 North 7th Street Terre Haute, IN 47804

Indiana 47807.	
STATE OF INDIANA)
) SS:
COUNTY OF VIGO)

<u>AFFIDAVIT</u>

Comes now, Mike Mullins, for and on behalf of Union Hospital Inc., being duly sworn upon his oath, deposes and says:

1. That Union Hospital Inc. is the fee simple owner of record of the following described real estate located in the City of Terre Haute, County of Vigo, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencers Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot

Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW 1/4) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number 4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

- 2. That copies of the Deeds, recorded in the records of the Recorder's Office of Vigo County, Indiana, transferring fee simple title to Union Hospital Inc. are attached hereto and made a part hereof and marked as Exhibit A.
- That Affiant makes this Affidavit for the sole purpose of affirming that Union Hospital Inc. is the owner of record of the above-described real estate for which a proposed change to the zoning map of the City of Terre Haute, Indiana, has been filed and to induce the Common Council of the City of Terre Haute, Indiana, to accept the Petition to Rezone Real Property as filed by Mike Mullins, for and on behalf of Union Hospital Inc..
 - 4. Further, Affiant saith not.

Dated at Terre Haute, Indiana, this 28 day of Olow, 2024.

Mike Mullins, CHFM, CHSP

System Director of Facilities

Union Hospital Inc.

STATE OF INDIANA)) SS:	SEAL Commission Number 0700815 My Commission Expires May 14, 2025
COUNTY OF VIGO)	The state of the s
		before me, a Notary Public in and for said County and executed said document, this
My Commission expires:		My County of Residence:

This instrument prepared by Darrell E. Felling II, Lind & Felling, 400 Ohio Street, Terre Haute, Indiana 47807.

97 15772

NOV 1 3 1997

Quedon a Canders Noo County 017716

RECEDITOR OF STA 97150 P 12 2 12

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT DALE WALTON and TARA WALTON, Individually and as husband and wife, of Vigo County, in the State of Indiana ("Grantors") CONVEY AND WARRANT TO UNION HOSPITAL, INC., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby neknowledged, the following described real estate located in Vigo County, in the State of Indiana:

> Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW 1/4) of Section 15, Township 12 North, Range 9 West.

(Commonly known as 1700 North 8th Street, Terre Haute, Indiana 47804)

IN WITNESS WIJEREOF, Grantors have executed this Warranty Deed this 12th day of November, 1997.

"GRANTORS"

STATE OF INDIANA

:SS

COUNTY OF VIGO

Before me, the undersigned, a Notary Public in and for said County and State this 12th day of November, 1997, personally appeared Dale Walton and Tara Walton, individually and as husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

My Commission Expires:

February 9, 2000

Printed Name: B. Curtis Wilkins

Resident of Vigo County, India

THIS INSTRUMENT PREPARED BY:

Auy B. Curtis Wilkinson 333 Ohio St., P.O. Box 800 Terre Haute, IN 47808

MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: INTERNAL AUDIT 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

RECEIVED FOR RECOR!

ENTERED FOR TAXATION
Subject to final acceptance for Transfer

MAY 2 8 2019

James W Brand

2019005348 WD \$25.00 05/28/2019 02:27:27P 2 PGS Stacee Todd VIGO County Recorder IN Recorded as Presented

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Beverly B. Grubb, surviving spouse of David W. Grubb, of Terre Haute, Indiana ("Grantor") CONVEYS AND WARRANTS TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

(Commonly known as 1716 North 8th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Beverly B.

Grubb who took title with her now deceased husband, David W. Grubb, to the above-described real estate by a Warranty Deed dated June 27, 1984, and recorded on June 28, 1984, at Deed Record 397, Page 468, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Beverly B. Grubb and David W. Grubb continued unbroken from the time they so acquired title to said real estate until the death of David W. Grubb on October 13, 2018, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 28th day of May, 2019.

Beverly B. Drubb Beverly B. Griffb

STATE OF INDIANA :SS **COUNTY OF VIGO**

Before me, the undersigned, a Notary Public in and for said County and State this 28th day of May, 2019, personally appeared Beverly B. Grubb and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valsu of Berrisfond VALORI J. BERRISFORD
Notary Public
SEAL
State of Indiana, Vigo County
Commission No. 696797
My Commission Expires:
February 19, 2025

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

THIS INDENTURE WITNESSETH, That Eric J. Bennett, of Vigo County, State of Indiana, CONVEYS AND WARRANTS to Union Hospital, Inc., a not-for-profit corporation organized and existing under the laws of the State of Indiana, 1606 North Seventh Street, Terre Haute, Indiana 47804, for and in consideration of the sum of One and No/100 (\$1.00) Dollar and other valuable consideration, the receipt of which is hereby acknowledged, the following described Real Estate in Vigo County, in the State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivisior of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana. Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

A sixty (60) foot strip of equal width off the East end of Lot Number One (i) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Grantor represents and warrants that he is one and the same person as the Eric Bennett who took title to the above real estate by Warranty Deed from Edgar A. Stapleton and Alice L. Stapleton, which Warranty Deed was dated November 12, 1985, and was recorded in the Recorder's Office of Vigo County, Indiana, on December 20, 1989, at Book Number 403, Page 678.

person as the Eric J. Bennett who, together with Ronald E. Leach, Ed M. Stone and Randall J. Smith d/b/a Erre Investment Company, were contract buyers under a certain contract originally made between Edgar A. Stapleton and Alice L. Stapleton as sellers and such parties as buyers on December 19, 1981. That the said Ronald E. Leach, Ed M. Stone and Randall J. Smith did assign all of their rights, title and interest to such land contract to Eric J. Bennett by a certain Assignment of Conditional Real Estate Sales Contract dated January 1, 1985.

IN WITNESS WHEREOF, The said Grantor, Eric J. Bennett, has hereunto set his hand and seal this 25 day of Favoary, 1990.

DULY ENTERED FOR TAXATION

Lanet D. Mornes

Auditor Vigo County

Eric J. Bemett

(SEAL)

STATE OF INDIANA)
:SS
COUNTY OF VIGO)

511

WITNESS my hand and Notarial Seal.

Ny Countrision Expires:

Resident of VIGO County, Indiana

Mail tax duplicates to: Union Hospital, Inc. 1606 North Seventh Terre Haute, Indiana 47804

This instrument prepared by B. Curtis Wilkinson, Attorney At Law, 333 Ohio Street, P. O. Box 1567, Terre Haute, Indiana 47808.

RECEIVED FOR RECORD THE SDAY OF JUDITH ANDERSON, RECORDER

ENTERED FOR TAXATION Subject to final acceptance for Transfer

SEP 2 9 2017

James W Brankle

2017009834 WD \$25.00 09/29/2017 01:42:26P 1 PGS Stacee Joy VIGO County Recorder IN Recorded as Presented

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Barbara G. Grubb, unremarried widower, of Terre Haute, Indiana, acting herein by and through David W. Grubb, her Attorney-in-Fact, duly appointed and acting pursuant to a Power of Attorney dated September 11, 2015, and recorded on September 18, 2017 with the Recorder of Vigo County, Indiana, being assigned Instrument No. 2017009369PO ("Grantor") does hereby CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real restate located in Vigo County, in the State of Indiana:

Lot Number 58 in Hudson's Subdivision as corrected by Josphus Collett of Lot Number 4 and part of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

(Commonly known as 1708 North 8th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Barbara G. Grubb who took title with her now deceased husband, Bernard W. Grubb, to the above-described real estate by a Warranty Deed dated June 10, 1952, and recorded on June 16, 1952, at Deed Record 271, Page 261, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Barbara G. Grubb and Bernard W. Grubb continued unbroken from the time they so acquired title to said real estate until the death of Bernard W. Grubb on March 7, 2014, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 29th day of September, 2017.

STATE OF INDIANA

:SS

COUNTY OF VIGO

)

Before me, the undersigned, a Notary Public in and for said County and State this 29th day of September, 2017, personally appeared Barbara G. Grubb, by David W. Grubb, POA and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Notary Public, State of Indiana Vigo County My Commission Expires February 19, 2025

VALORI J BERRISFORD

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807 MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson

DULY ENTERED FOR TAXATION Subject to final acceptance for transfer

OCT 09 2012

2012015307 WD 10/09/2012 03:03:20P 1 PGS NANCY S. ALLSUP VIGO County Recorder IN

Jenety VI The ME

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Billie F. Leavitt, of Terre Haute, Indiana ("Grantor") CONVEYS AND WARRANTS TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

> Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

(Commonly known as 1715 North 7th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Billie F. Leavitt who took title with her now deceased husband, Robert E. Leavitt, Sr., to the above-described real estate by a Warranty Deed dated and recorded on July 21, 1972, at Deed Record 356, Page 958-2, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Billie F. Leavitt and Robert E. Leavitt, Sr. continued unbroken from the time they so acquired title to said real estate until the death of Robert E. Leavitt, Sr. August 22, 2010, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 5th day of October, 2012.

Billing Kunts

STATE OF INDIANA

:SS)

COUNTY OF VIGO

Before me, the undersigned, a Notary Public in and for said County and State this 5th day of October, 2012, personally appeared Billie F. Leavitt and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Bernsford, Notary Public

Resident of Vigo County, Indiana

My Commission Expines:

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84

Wilkinson, Goeller, Modesitt,

Wilkinson & Drummy, LLP

333 Ohio Street

Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street

Terre Haute, IN 47804

Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless pequired by law.

B. Curtis Wilkinson

DULY ENTERED FOR TAXATION Subject to final acceptance for transfer

APR 26 2016

2016004140 WD \$16.00 04/26/2016 11:59:22A 1 PGS NANCY S. ALLSUP VIGO County Recorder IN Recorded as Presented

VIGO COUNTY AUDITOR

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT David L. Pettyjohn and Roshelle R. Pettyjohn, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

(Commonly known as 1707 North 7th Street, Terre Haute, Indiana 47804).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 22nd day of April, 2016.

Roshelle R. Pettyjohr

STATE OF INDIANA

:SS

COUNTY OF VIGO

)

Before me, the undersigned, a Notary Public in and for said County and State this 22nd day of April, 2016, personally appeared David L. Pettyjohn and Rosehelle R. Pettyjohn, husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84

Wilkinson, Goeller, Modesitt,

Wilkinson & Drummy, LLP

333 Ohio Street

Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

> I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

YNE BERRISPORD

B Curtis Wilkinson

JUN 02 2016

Junos & M Shana.

2016005584 WD \$16.00 06/02/2016 02:52:57P 1 PGS NANCY S. ALLSUP VIGO County Recorder IN Recorded as Presented

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Nick Tschudny and Kathy H. Tschudny, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3- 5- 6-7-8-9 and 10 of Spencers Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

(Commonly known as 1705 North 7th Street, Terre Haute, Indiana 47804).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 2nd day of June, 2016.

Nick Tschudny

Kathy H. Tschudny

STATE OF INDIANA

:SS

COUNTY OF VIGO

:55

Before me, the undersigned, a Notary Public in and for said County and State this 2nd day of June, 2016, personally appeared Nick Tschudny and Kathy H. Tschudny, husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

VALORI JAYNE BERRISFORD
Notary Public, State of Indiana
Vigo County
My Commission Expires
February 19, 2017

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807 MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson

JUL 01 2011

Jindy m Square VIGO COUNTY AUDITOR

2011008198 ND 07/01/2011 02:27:25P 1 PGS Recorder IN Recorded as Presented

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Stanley E. Kerr and Melody L. Kerr, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

> Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

(Commonly known as 1704 North 8th Street, Terre Haute, Indiana 47804).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 1st day of July, 2011.

Stanley E. Kerr

Stanley E. Kerr

Melody J. Klein

Melody L. Kerr

STATE OF INDIANA

:SS

COUNTY OF VIGO

Before me, the undersigned, a Notary Public in and for said County and State this 1st day of July, 2011, personally appeared Stanfey E. Kerr and Melody L. Kerr and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Bernsford, Notary Public

My Commission Expires

Resident of Vigo County, Indiana

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

> I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.





SCALE: 1" = 1000"

CONSTRUCTION PLANS FOR UNION HOSPITAL NEW PARKING

VIGO COUNTY, INDIANA

PART OF THE NW 1/4 OF SECTION 15, TOWNSHIP 12N, RANGE 9W HARRISON TOWNSHIP



SCALE: 1" = 20



Latitude 39°29'12"N Longitude 87°24'23"W

-INDEX-

SHEET NUMBER	DESCRIPTION
C001	TITLE SHEET
C002	GENERAL NOTES AND LEGEND
C003	EXISTING CONDITIONS
C101	SITE PLANS
C201	GRADING AND DRAINAGE PLAN
C401	SWPPP
C402	EROSION CONTROL PLAN
C403	EROSION CONTROL PLAN DETAILS
C901	STANDARD SPECIFICATIONS

OWNER: UNION HOSPITAL INC. MKE MULLINS 1606 N 7TH STREET TERRE HAUTE, IN 47804 (812)-232-4311

ENGINEER:
ALIGN CEC, INC.
EVAN MILLER, P.E.
1216 S. 3RD STREET
TERRE HAUTE, IN 47802
(812) 238-9731
EMILLER:@ALIGNCEC.COM

ALIGN





GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES AND INDUSTRY STANDARDS,
- THE ENGINEER HAS APPLIED FOR CONSTRUCTION PERMITS FROM IDEM FOR COSP EROSION CONTROL, AND TO THE CITY OF TERRE HAUTE FOR SITE CEVELOPMENT APPROVAL, THE CONTRACTOR SMALL ORTHOR ALL OTHER PERMITS AND PAY ALL FEES REQUIRED TO CONSTRUCT THE PROJECT.
- ROAD CLOSURES ARE PERMITTED ONLY WITH APPROVAL FROM THE CITY OF TERRE HAUTE.
- MISSED LOCATION OF SESTING UTILITIES, ALLIC CONTRACTION ON GEDITION OF EXCHANGES ASSIMES NO RESPONSIBILITY FOR THE LUCK OF LOCATION ON GEDITION OF EXCHANGES ASSIMED AND ALLIC CONTRACTOR AND ALLIC CO
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIEY THE LOCATION OF OVERHEAD OBSTRUCTIONS, ESPECIALLY OVERHEAD ELECTRIC LINES.
- THE ENGINEER SHALL BE NOTIFIED OF JANY RELD TILES FOLKED CHRISTO CONSTRUCTION OFFERINGES, FEMALED DIRRIED CONSTRUCTION, THE CONSTRUCTION SHALL, AT 195 ENFENCE, REPART THE DAMAGED PORTION AND SHALL IF PROCESSAFE, DETROO THE TILE OT TO THE READEST STORM HALET, RECOMMENDED AND ORDERTED OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER NEEDED FOR ANY TESTING, CLEANING, ETC.
- PIPE APPURTENANCES ARE NOT SPECIFICALLY CALLED OUT ON THE PLANS. THE CONTRACTOR'S BID SHALL INCLUDE ALL APPURTENANCES NECESSARY FOR CONSTRUCTION.
- THE COORDINATE VALUES SHOWN ARE IN THE INDIANA STATE PLANE COORDINATE SYSTEM WEST ZOME ON THE 1888 NORTH MERICAN DATIM, US SURVEY FEET. SITE CONTOURS WERE GENERATED FROM A FIELD SURVEY.
- ALL GRADES ARE TO BE VERIFIED IN THE FIELD, THE ENDINEER RESERVES THE RIGHT TO ADJUST GRADES TO MINIMIZE GRADING AFTER FIELD STUDY.

INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION, SHALL BE USED WITH THESE PLANS.

- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING
- 14. ALL CONSTRUCTION IS MALL BE PERFORMED THA MANAGET PAYT DOES NOT
 ALLOW RECORD SOAL TO LEAR THE PROPERTY. THE CONTROLTORS SHALL BE
 FROM THE BIRST ALLOWING THE BIRST AND GOOD THE AND GOOD THE BIRST AN 13. DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WARN AUTHORIZED BY THE UTILITY COMPANY IN WRITING
- ALL AREAS DISTURBED BY CONSTRUCTION AND DESIGNATED FOR GRASS, INCLUDING THE FILLED AREA BEHAD CLASS SHALL BE GRAVED FOR POSITIVE DRAINAGE WITH A MIRANUM OF 6" OF TOPSOLL ALL AREAS SHALL BE PREPARED FREFILEDED, AND MALCHED BY THE CONTRACTOR.
- PAVEMENT MARKINGS SHALL BE PLACED IN ACCORDANCE WITH MUTCD, LATEST REVISION.
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR ILLUMY CONTRAC. THE CHARGE TO HAVE RESPONSIBLE FOR ILLUMY CONTRAC. THE CHARGE THE CONTRACTOR OF RESTRICT OF THE PROJECT IN ACCORDANCE IN HEAVEST AND SECURIOR ON BEING THE FROM SHEET THE PROJECT OF THE PROJE
- REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

KEY NOTES

- I. SUBGANCE SHALL BE REFERED AND COMPACTED IN ACCORDANCE WITH NOTO IS INADAM SEPEC SECTION AND SUBGRACE TREAT THE III. COST OF SUBGRACE TREAT SHOP III. COST OF SUBGRACE TREAT SHOP III. COST OF SUBGRACE THE PRANTON SHALL BE NULLIED IN THE COST OF OTHER PAY. ITEMS. CONTRACTOR SHALL PROVIDE A MANAMA SHAR NOTICE TO OWNER AND ENGINEER FOR SCHEDULED PROOFROLL ACTIVITIES.
- A GEOTECHNICAL REPORT WAS NOT PROVIDED BY OWNER OR ARCHTECT.
 CONTRACTOR SHALL BE RESPONSIBLE FOR MERIFICATION OF SOIL SUITABILITY
 FOR BITE CONSTRUCTION. THAS SHALL INCLUDE LAY ADOTTIONAL
 INVESTIGATIONS OR TESTING DURING CONSTRUCTION.

TERRE HAUTE ENGINEERING
DEPARTMENT
OTTY ENGINEER - MARCUS MAURER, P.E.
ENGINEERING BY TERREHAUTE, IN. GOV
(812) 244-1903 CENTERPOINT ENERGY (GAS)

BENCHMARK 8243 (BENCH TIE IN UTILITY POLE) N: 1543657.761 E: 2561557.701 EL = 494.00* ACP #2 (P.K. NAIL.)
N: 1543777.747
E: 2861801.809
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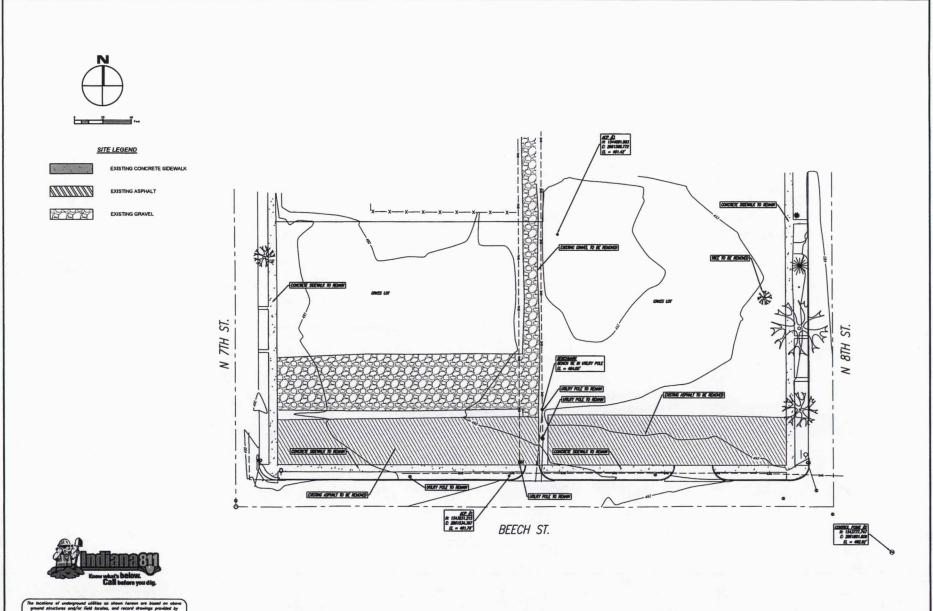
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EXISTING

C002

UNION HOSPITAL PARKING



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10x 12x4 GTY-COMME)(TS BW DAME)

SECTION 15, TOWNSHIP B NORTH, RANGE B TO WEST OF WEST OF PRINCIPAL MERIDAM, HARRISON TOWNSHIP, INDIANA TERRE HAUTE, VISCO COUNTY, INDIANA 1706 N 77H ST.

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CLENT
LINION HOSPITAL INC.

RECCAD CHINER
UNION HOSPITAL INC.

PROJECT NUMBER 24-111

DATE 677/002H

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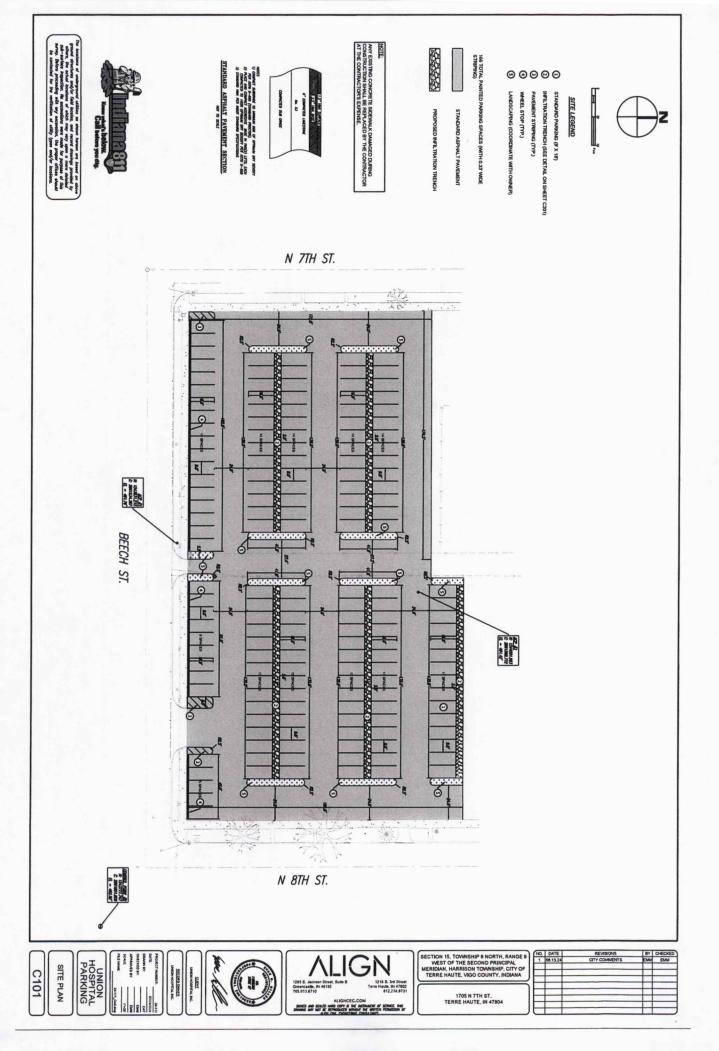
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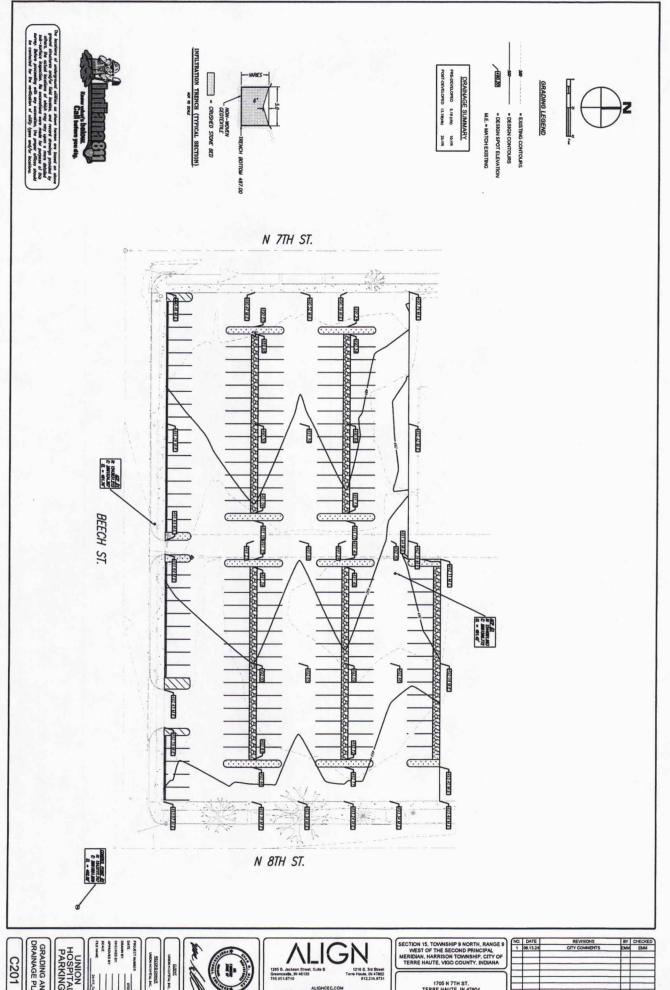
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UNION HOSPITAL PARKING

EXISTING CONDITIONS













1705	N 7TH ST.
	AUTE. IN 47804

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Storm Water Pollution Prevention Plan

Construction Plan Element (Section A)

See general information Sheet C001

A2. Vicinity Map

A3. Narrative Describing the Nature and Purpose of Project

The project is located on the block between 7th Street and 8th Street and Beech Street and Ash Street, Terre nsists of new parking lot with proposed infiltration trenches

A4. Latitude and Longitude of the Project: Latitude: 39*29'12" N, Longitude: 87*24'23" W

A5. Legal Description of the Project Section 15 Township 12 North Range 9 West, Vigo County, Harrison Township

A6, 11x17 Inch Plat

A7. Boundaries of 100yr Floodplains, Floodways Fringes, and Floodways
This property is not located in a floodplain per FEMA Map 18167C0162C, February 18th, 2011.

A8. Adjacent Land Use Adjacent Land Use: West Block: Commercial (Hospital) South Block: Commercial (Ho North Block: Residential

A9. Identification of a U.S. EPA Approved or Established Total Maximum Daily Load (TMDL)

A10, Name(s) of Receiving Water(s)

Water will leave the site by infiltration into the soil.

A11. Identification of Discharges to a Water on the Current 303 (d) List of Impaired Waters and the Pollutant(s) for which it is impaired

A12. Soil Map of Predominate Soil Types Soil types present consist of Elston sand loam.

A13. Identification and Location of all Known Wetlands, Lakes and Water Courses on or Adjacent to to the

A14. Identification of any Other State or Federal Water Quality Permits or Authorizations that are Required for Construction Activities

A15. Identification and Delineation of Existing Cover Some asphalt and gravel as well as grass.

A16, Existing Site Topography See Plan Sheet C003

A17. Location(s) where Run-Off Enters the Project Site
Run-off may enter the site from the East side of the project. Existing drainage pattern water flows from East to

A18, Location(s) where Run-off Discharges from the Project Site Prior to Land Disturbance

A19. Location all Existing Structures on the Project Site

A20. Existing or Permanent Retention or Detention Facilities

A21. Locations where Stormwater may be directly Discharged into Ground Water

Runoff may enter the ground water via natural filtration through the soil. No known abandoned wells on site.

A22. Size of Project Area

A23. Total Expected Land Disturbance

1.59 acres

A24. Proposed Final Topography

A25. Locations and Approximate Boundaries off All Disturbed Areas See Sheet C003 and C101.

A26, Location, Size, and Dimensions of all Stormwater Drainage Systems

A27. Locations of Specific Points where Stormwater and Non-Stormwater Discharges will Leave the

rater will be leaving the site via infiltration through infiltration trenches.

A28. Location of all Proposed Site Improvements

A29. Location of all On-site and Off-Site Soil Stockpiles and Borrow Areas

A30, Construction Support Activities that are Expected to be part of the Project

A31. Location of any in-Stream Actvities that are Planned for the Project

Stormwater Poliution Prevention - Construction Component (Section B)

R1. Description of Potential Pollutant Sources

Potential pollutant sources associated with the construction are anticipated to be silt runoff, petroleum and petroleum based chemicals from equipment and vehicles, fertilizer used for temporary and permanent seeding and, concrete from truck washout. These are all addressed in this plan.

B2. Stable Construction Entrance Locations and Specifications

The construction entrance for this project will be located as shown on sheet C402. Property shall be kept clear of sediment, trash, and any other construction materials (including fluids). Access to the construction entrance will be from Reach Street, which shall be kent clean of mud and silt.

B3. Specifications for Temporary and Permanent Stabilization

All areas left disturbed for 7 days or more shall have temporary seeding applied according to the attached specifications (Indiana Department of Environmental Management Manuel, Chapter 7). If construction is completed in an area, permanent seeding may be applied instead of temporary. Temporary seeding shall be applied as

Seed Species	Rate/Acre	Planting Depth	Optimum Dates
Wheat or Rye	150 lbs	1 to 1.5 in.	9/15 to 10/30
Spring Oats	100 lbs	1 in.	3/1 to 4/15
Annual Ryegrass	40 lbs	0.25 in.	3/1 to 5/1 & 8/1 to 9/1
German Millet	40 lbs	1 to 2 in.	5/1 to 6/1
Sudangrass	35 lbs	1 to 2 in.	5/1 to 7/30
Buckwheat	60 lbs	1 to 2 in.	4/15 to 6/1
Corn (Broadcast)	300 lbs	1 to 2 in.	5/11-8/10
Sorghum	35 lbs	1 to 2 in.	5/1-7/15

Once construction is completed in areas outside of the building, sidewalk, or paving limits, permanent seeding is to take place. This is to be done according to the attached specifications for Permanent Seeding. The specifical state what type of seed mixes are to be used and how to apply them. Optimum seeding dates are March 1 to May 10 and August 10 to September 30. Seeding done between May 10 and August 10 may require irrigation. As an , temporary seeding may be used until the optimum dates for pe

B4. Sediment Control for Concentrated Flow Areas

B5. Sediment Control for Sheet Flow Areas

Sheet flow will be the primary runoff type for this project. Silt fence will be placed as directed in the Erosion Control Plan. See Sheet C402.

B7. Stormwater Outlet Protection Location and Specifications

B8. Grade Stabilization Structure Locations and Specifications

B9. Dewatering Applications and Management Methods

B10. Measures Utilized for Work within Waterbodies

B11. Maintenance Guidelines for each Proposed Stromwater Quality Measure
Monitoring and maintenance of the practices will be in accordance with the attached specification for each practice.
The contractor shall have a person knowledgeable in crossion and sediment control that shall inspect the site for stormwater pollution deficiencies at least once weekly and again within 24 hours of every 1/2 inch rain event.

B12. Planned Construction Sequence

Pre-Construction Practices

1. Notify IDEM CSGP coord

rdinator (317-233-4864) and City of Terre Haute Public Works Office within 48 hours of starting construction. Schedule a pre-construction meeting after the perimeter practices have been

Perimeter silt fence shall be installed prior to any land disturbing activities as shown on the Erosion Control Plan. See sheet C402.

A 3' buffer area of existing vegetation shall be maintained between the disturbed areas and sit fence.

Topsoil stockpiles will be located on site, as shown on the Erosion Control Plan, Any amount of topsoil

stockpiled shall be surrounded with silt fence prior to placing any material there.

There will be a construction entrance from Beech St. The construction entrance will be constructed of No. 2

stone placed to a depth of 8-in placed on top of geotextile fabric. This entrance shall be a minimum of 50-ft long x 24-ft wide, to allow for two-way traffic.

Install Construction Entrance, fueling area, port-a-potty, soild waste bin, concrete washout facility, and

equipment staging area.

Post the contact information at the construction entrance, include a copy of the NOI and contact information for the on-site person who is responsible for implementing the storm water pollution prevention plan. The SWPPP should be on-site and weekly reports need to be available within 48 hours of a request.

During Construction Practices

Inspection and maintenance of the Erosion Control practices initiated will continue throughout the construction time period. Inspections will be at least once a week. Inspections will be made following every 1/2 inch rain event. Inspection is to be made by construction personnel trained individually and erosion

2. All areas on the property that have been cleared or graded shall have temporary seeding planted as early as possible. All areas left undisturbed for 7 days SHALL be temporary seeded.

All disturbed areas shall have permanent seed within 7 days after finished grading operations as specified in

4. All disturbed area not at final grade left idle for more than 7 days shall be temporary seeded as per B3 of

this sheet.

5. Land disturbing activities shall be kept to a minimum until these practices are installed.

Post Construction Practices

Inspection and maintenance of the Erosion Control practices initiated will continue after construction is complete. Sediment control practices shall be removed after the site is stabilized.

2. The contractor shall remove the temporary erosion or sediment control devices as each area is permanently

B13. Provisions for Erosion and Sediment Control on Individual Residential Building Lots Regulated under the Proposed Project

B14. Material Handling and Spill Prevention and Spill Response plan Meeting the requirements in 327 IAC

Materials that may be present on site during construction will be petroleum-based products. These materials Mathalis that may be present on size ouring construction will be perceived. See a first of the second of the secon smaller spills will be contained and all affected materials shall be removed and hauled to an approved location for disposal. All materials used on site shall have an available MSDS sheet to specify what is to be done in case of a

B15. Material Handling and Storage Procedures Associated with Construction Activity See Sheet C402 and C403.

Stormwater Pollution Prevention Plan - Post Construction Component (Section C)

C1. Description of Pollutants and their Sources Associated with Proposed Land Use The site will be used as a Parking Lot, Sidewalk and Landscaping. Possible post construction pollutants would be gas/oil from vehicles in and out of the site as well as salt/sand and trash/litter.

C2. Description of Proposed Post Construction Stormwater Quality Measures
Areas to be seeded will be fine graded in order to establish a good stand of grass in order to prevent erosion.
Permanent seeding must be done within 7 days of the end of construction.

C3. Plan Details for each Stormwater Measure

Permanent seeding will be in accordance with the attached specifications. See sheet C403.

C4. Sequence Describing Stormwater Quality Measure Implementation
Seeding areas shall include all areas outside of the pavernent and sidewalk as shown on the plans.

C5, Maintenance Guidelines for Proposed Post-Construction Stormwater Measures
Contractor will be responsible for establishing and maintaining the seeded areas until grass is fully established and

C6. Entity that will be Responsible for Operation and Maintenance of the Post-Construction Storms

The property owner will assume responsibility of the site post-construction.



SECTION 15, TOWNSHIP 8
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MERIDIAN, HARRISON TO
TERRE HAUTE, VIGO C



CLENT TAL NO RECORD OWNER

UNION HOSPITAL PARKING

SWPPP





EROSION CONTROL LEGEND

- 1 SILT FENCE
- ② CONSTRUCTION ENTRANCE
- 3 TOPSOIL STOCKPILE

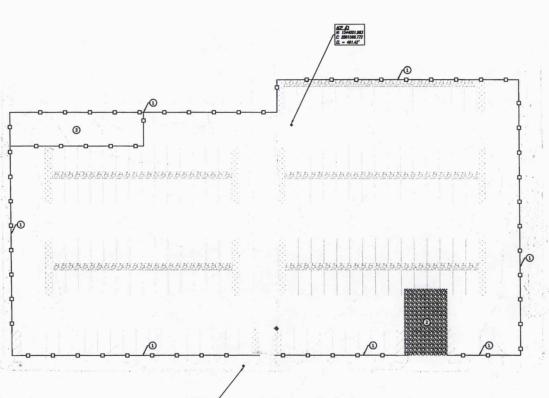
SEED SPECIES RATI	EACREPLA	NTING DEPTH	OPTIMUM DATES
WHEAT OR RYE	150 LBS.	1 TO 1.5 PM.	8/15 TO 19/30
SPRING GATS	100 LBS.	1 84.	3/1 TO 4/15
ANNUAL RYEGRASS	40 LBS.	16 BV.	3/1 TO S/1 & A/1 TO S/
GERMAN MILLET	40 LBS	1 TO 2 IN.	\$/1 TO 6/1
SUDANGRASS	35 LBS.	1 TO 2 IN.	5/1 TO 7/30
BUCKWHEAT	40 LBS.	1 TO 2 IN.	4/15 TO 4/1
CORN (BROADCAST)	300 LBS.	1 TO 2 IN.	5/11 TO 4/10
SORGHUM	35185	1 TO 2 IN.	5/1 TO 6/15

3 ************** BEECH ST.

N 8TH ST.

UNION HOSPITAL PARKING

EROSION CONTROL PLAN



Erosion Control Plan Details

X

1.75 staples persq. yd. (2.1 staples per sq m)

EROSION CONTROL BLANKET

Begin at the top of channel by anchoring the blanket in a 6" deep by 6" wide trench, tackfill and compact the trench after stapping.

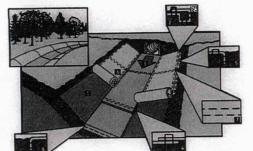
3. Roll center blanket in direction of water flow on bottom of channel

Place blankets end over end (shingle style) with a 6" overlap. Use a double row of taggered stagles 4" apart to secure blankets.

. Full-length edge of blankets at top of side slopes must be anchored in 6" by 6" wide rench. Backfill and compact the trench after stapling.

In high flow channel applications. a Staple check slot is recommended at 30 to 40 foot intervals. Use a row of staples 4" apart over entire width of the channel. Place a

The terminal end of the blankets must be anchored in a 6" deep by 6" wide trench.
 Backfill and compact the trench after stapling.



CONSTRUCTION SEQUENCE FOR SITE EROSION CONTROL PRACTICES

STEP 1. Evaluate the Site

Before construction, evaluate the entire site, marking for protection any important trees and associated rooting zones, unique areas to be preserved, on-site septic system absorption fields, and vegetation suitable for filter strips, especially in

Identify Vegetation To Be Saved

Select and identify the trees, shrubs, and other vegetation that you want to save (see "Vegetation Filter Strips" under Step 2 below).

- To prevent root damage, do not grade, burn, place soil piles, or park vehicles near trees or in areas marked for preservation.
- · Place plastic mesh or snow fence barriers around tree's drip line to protect the area below their branches.
- Place a physical barrier, such as plastic fencing, around the area designated for
 Any area left disturbed for 7 days must be temporary seeded. a septic system absorption field (if applicable).

STEP 2. Install Perimeter Erosion and Sediment Controls

Identify the areas where sediment-laden runoff could leave the construction site, and install perimeter controls to minimize the potential for off-site sedimentation. It's important that perimeter controls are in place before any other earth-moving

Protect Down-Slope Areas

With Silt Fence

Use silt fencing along the perimeter of the lot's downslope side(s) to trap sediment (see Specifications).

Install Gravel Drive

· Restrict all lot access to this drive to prevent vehicles from tracking mud on to

STEP 3. Prepare the Site for Construction
Prepare the site for construction and for installation of utilities. Make sure all contractors (especially the excavating contractor) are aware of areas to be protected.

Salvage and Stockpile the Topsoil/Subsoil

- · Remove topsoil (typically the upper 4 to 6 inches of soil material) and stockpile.
- · Remove subsoil and stockpile separately from the topsoil.

- . Locate the stockpiles away from any downslope street, driveway, stream, lake. wetland, ditch, or drainageway
- Immediately after stockpiling, temporary-seed the stockpiles with annual rye or winter wheat and/or place sediment barriers around the perimeter of the piles.

STEP 4. Build the Structure(s) and Install the Utilities Construct the site and install the utilities then consider the following.

Install Temporary Erosion Control Measures

- Inlet Protectors
- Silt Fence

- Sit rence
 Erosion control blanket
 Riprap check dams once ditches are cut
 Temporary sediment trap at pond outlet pipe once pond is constructed

Seed or Sod Bare Areas

- . Follow recommendations of a professional landscaping contractor for installation
- Water newly seeded/sodded areas every day or two to keep the soil moist. Less watering is needed once grass is 2 inches tall

STEP 5. Maintain the Control Practices

Maintain all erosion and sediment control practices until construction is complete and the site is stabilized.

- Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.
- Toward the end of each work day, sweep or scrape up any soil tracked onto roadways. Do not flush areas with water.
- . By the end of the next work day after a storm event, clean up any soil washed

STEP 6. Revegetate the Site

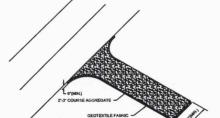
Immediately after all outside construction activities are complete, stabilize the lot with sod seed and/or mulch.

Redistribute the Stockpiled Topsoil and Subsoil

- . Spread the stockpiled subsoil to rough grade.
- Spread the stockpiled topsoil to a depth of 4 to 6 inches over rough-graded
- · Fertilize and lime according to soil test results or recommendations of a seed

STEP 7, Remove Remaining Temporary Control Measures Once the sod and/or vegetation is well established, remove any remaining temporary

erosion and sediment control practices.



TYPICAL CONSTRUCTION ENTRANCE

Erosion Control Practices shall be as per the IDEM Indiana Storm Water Quality Manual, unless stated otherwise.

Erosion Control Blankets
To be used in areas where slope is 3:1 or greater

Permanent Seeding Recommendations Per Plans, INDOT Type "U"

Temporary Seeding: (If areas remain open for 7 days)

Rate/acre Wheat or Rye 150 lbs. 1 to 1 1/2 in. 9/15 to 10/30

Mulch Anchoring

Tack, Crimp, or Apply biodegradable netting over mulch and staple with 6-8 in, wire staples. Follow manufacturer's recommendations for

Stabilizing measures

Temporary or permanent seeding, silt fence, or other erosion control measures shall be used within seven days after the land has Erosion control measures will be maintained throughout construction.

Staged Clearing
Will be utilized to reduce the amount of disturbed area during

Soil Stockpiles
Will be surrounded with silt fence.



SECTION 1 WEST MERIDIAN TERRE

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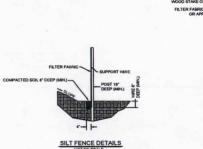


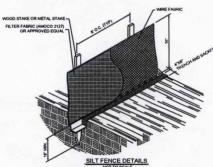
RECORD OWNER

SCALE

UNION HOSPITAL PARKING

EROSION CONTROL PLAN DETAILS





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ion 2 - Streets/Parking Lot

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nd constitution of constitution shall be in accordance with the plans and specifications. If there are areas the current ROOT Standard specifications, literal revision shall govern. persistent

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SECTION 15, TOWNSHIP 9 NORTH, RANGE 9 WEST OF THE SECOND PRINCIPAL MERIDIAN, HARRISON TOWNSHIP, CITY OF TERRE HAUTE, VIGO COUNTY, INDIANA

1705 N 7TH ST. TERRE HAUTE, IN 47804



PROJECT HOMBER: 38-111
DAVE: 812-00234
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SCALE
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STANDARD SPECIFICATIONS

C901

UNION HOSPITAL PARKING



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PAID





Receipt of Payment

CONTROLLER

The follo	wing was paid to the City of Terre Haute Controller's Office
Date	11/1/24
Name	Lind Law Firm
Reason	Rezoning Petition - \$20.00
	Rezoning Notice of Filing- \$25.00
Cash Check Credit	\$45.00 ck# 10/107
Total	\$45.00
	Received By Show



Area Planning Department For Vigo County

159 Oak Street, Terre Haute, Indiana 47807

Telephone: (812) 462-3354

Fax: (812) 234-3248

Terre Haute • West Terre Haute • Riley • Seelyville

DATE: December 5, 2024

REPORT TO THE CITY COUNCIL ON ZONING MAP AMENDMENT

THE VIGO COUNTY AREA PLAN COMMISSION HEREBY GIVES CERTIFICATION TO SPECIAL ORDINANCE NUMBER 38-24

CERTIFICATION DATE: December 4, 2024

TO: The Honorable Common Council of the City of Terre Haute

Dear Members,

The Vigo County Area Plan Commission offers you the following report and certification on Special Ordinance No. 38-24. This Ordinance is a rezoning of property located at 720 Beech St., 1701, 1705, 1707, 1715 N. 7th St., 1700, 1704, 1708, 1716 N. 8th St. Terre Haute, IN. Parcel numbers 84-06-15-151-005.000-002/006/007/008/009/015/016/017/018. The Petitioner, Union Hospital Inc., petitions the Plan Commission to rezone for the future development of parking lot from zoning classification R-2 and C-1 to C-2 Community Commerce District.

The Ordinance was published in the Tribune-Star Newspaper in accordance with IC 5-3-1 and Division XIII of the Comprehensive Zoning Ordinance. Further, this ordinance was posted by the City Building Inspection Department in accordance with IC 36-7-4-604(c).

The Area Plan Commission considered Special Ordinance No. 38-24 at a public meeting and hearing held Wednesday, December 4, 2024. Remonstrators were not present. At this meeting, a quorum was present throughout the meeting pursuant to IC 36-7-4-301, and the Area Plan Commission took official action on Special Ordinance No. 38-24 as required by IC 36-7-4-302. The Area Plan Commission of Vigo County now hereby attaches certification to Special Ordinance No. 38-24 as required by IC 36-7-4-401(a)(7) and IC 36-7-4-605(c).

Therefore, Area Plan Commission's certified recommendation on Special Ordinance No. 38-24 was FAVORABLE with the following conditions: 1) Approval of any variances or special uses required by the Department of Engineering 2) Site plan approval by the Department of Engineering:

Norm Froderman, APC Secretary

Jared Bayler, Executive Director

Received this 5th day of December, 2024

STAFF REVIEW - CITY OF TERRE HAUTE ZONE CHANGE

Number: SO # 38-24 Date: December 2024 Doc: # 86 Page 1 of 4

APPLICATION INFORMATION

Property Owner:

Union Hospital Inc.

Proposed Use:

Parking Lot

Proposed Zoning:

C-2 Limited Community Commerce

Current Zoning:

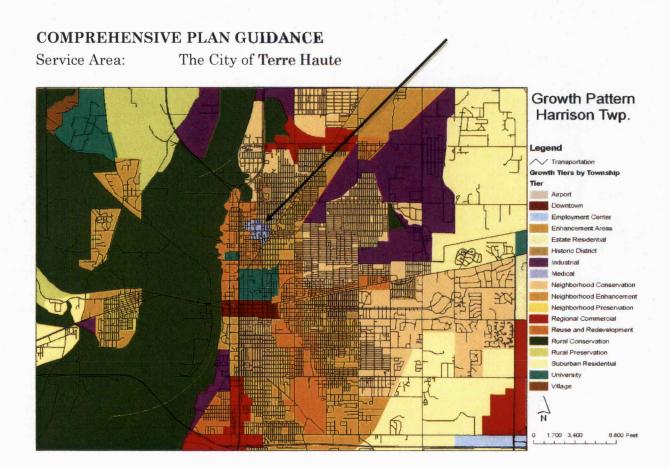
R-2, Two Family Residence

C-1, Neighborhood Commerce District

Representative:

Darrell E. Felling II

Common Address: 1705 N. 7th St.,720 Beech St., 1701 N. 7th St., 1707 N. 7th St., 1715 N. 7th St., 1700 N. 8th St., 1704 N. 8th St., 1708 N. 8th St.,1716 N. 8th St., Parcel #'s. 84-06-15-151-007.000-002, 84-06-15-151-009.000-002, 84-06-15-151-008.000-002, 84-06-15-151-006.000-002, 84-06-15-151-018.000-002, 84-06-15-151-017.000-002, 84-06-15-151-016.000-002, 84-06-15-151-015.000-002



STAFF REVIEW - CITY OF TERRE HAUTE ZONE CHANGE

Number: SO # 38-24 Doc: # 86 Date: December 2024 Page 2 of 4

Neighborhood Conservation

These areas encompass neighborhoods with established and stable residential environments. The vast majority of these areas are fully developed (or expected to be in a relatively short timeframe). Fundamental directives urged for these areas encourage the maintenance of the residential desirability and stability. Where new infill development is proposed, it should be entirely consistent and compatible with pre-existing developments. However, special public attention may, in some cases, be required to assure that drainage, sidewalk improvements, and linkages to pedestrian and bicycle trails are made. Many of these neighborhoods may be excellent candidates for special assessment districts for neighborhood improvements and amenities.

In addition, these areas encompass existing retail activity nodes located throughout the community. In general, these commercial areas have evolved in an unplanned, largely uncoordinated manner along frontage of primary arterials. Within these commercial bands, a great variety of activities exist which target different markets. Some activities are oriented toward "drive-by" markets, fast food restaurants, convenience stores, gasoline stations, drive-in banking facilities, for example. Other activities are special-purpose, oriented to single trips rather than comparative multipurpose shopping. These single purpose stores serve a market larger than a single neighborhood. Sales and service of automobiles, trucks, boats, recreational vehicles and related activities are special purpose region-serving activities. They require large site with good visibility. Finally, commercial areas include a range of neighborhood level retail activities including grocery stores, pharmacies, personal services such as hair styling, and other frequently purchased goods and services.

Additional policies for Neighborhood Conservation areas should include:

- Allow for a range of housing densities based on the zoning ordinance.
- Allow for a mix of uses, focusing on neighborhood and community serving commercial nodes.
- Encourage neighborhoods to develop a unique sense of place, but still be part of the larger city.
- Reuse of commercial oriented structure should be limited to retail activities that contribute to the diversity and variety of retail uses in a commercial node.
- With respect to existing commercial "strips" i.e. narrow bands of commercial uses occupying major roadway frontage, the limitation of additional or new commercial uses is strongly advised.
- Geographic expansion of this commercial "strips" should be limited to the provision of additional space to ensure the compatibility with adjacent uses, not an intensification of use.
- Improved landscaping, improved pedestrian amenities, and increased attention to lighting, signage, and impacts upon nearby residential areas is advised in the review of development petitions.

STAFF REVIEW – CITY OF TERRE HAUTE ZONE CHANGE

Number: SO # 38-24 Date: December 2024 Page 3 of 4

Available Services: The area is well served by utilities.

Street Access: N. 7th Street, N. 8th Street and Beech Street

ZONING COMPATIBILITY

Sur. Zones and Uses: North -R-2

East - R-2 South - C-2 West - C-3

ZONING REGULATIONS

C-2 Purpose:

The Community Commerce Zone is designed for the residents of the nearby community consisting of more than one (1) of the neighborhoods in that section of the city, so as to permit a wider variety of both business uses and services. It is designed not for an abutting neighborhood, but for a relatively larger consumer population for both daily and occasional shopping. The development is characterized by a lack of "comparison shopping" and is limited to providing only one (1) store for each type of business.

C-2 Uses:

Amusement establishments, bowling alleys, pool halls, swimming pools, dance halls, and skating rinks, Any use permitted in the C-l Zone except as otherwise provided in this Chapter, Antique shops, Art galleries, but not including auction rooms, Banks and financial institutions, Bicycle sales, rental, and repair stores, Blue-printing and photostatting establishments, Books and stationery stores, Camera and photographic supply stores, Candy and ice cream stores, Leather goods and luggage stores, Loan offices, Locksmith shops, Medical and dental clinics, Meeting halls, Millinery shops, Municipal or privately-owned recreation buildings or community-center, Musical instrument sales and repair, Newspaper distributors for home delivery and retail sale. Office supply stores, Offices, business and professional, Optometrists, Paint and wallpaper stores, Restaurants. Liquor may be served if incidental to the serving of food as the principal activity. (Gen. Ord. No. 2, 2007, As Amended, 2-8-07), Live entertainment. (Gen. Ord. No. 2, 2007, As Amended, 2-8-07)

C-2 Standards:

Minimum Lot Size: 3,300 Sq. Ft.

STAFF REVIEW - CITY OF TERRE HAUTE ZONE CHANGE

Number: SO # 38-24 Doc: # 86 Date: December 2024 Page 4 of 4

FINDINGS and RECOMMENDATION

Staff Findings:

Union Hospital is requesting to rezone nine parcels for the use of an additional parking lot.

City Code requires screening to adjacent residential properties for parking areas for more than 10 vehicles (Section 10-137(d)(12). However, the adjacent residentially zoned properties are owned by Union Hospital.

A Special Use is required of an off-street parking facility when located elsewhere than on the same zoning lot as the principal use served (Section 10-208(a)(6).

In their recommendation, the Department of Engineering states: "the intended us would not alter the neighborhood's characteristic or create any significant problems for the surrounding area".

Recommendation: Staff offers a favorable recommendation with the following conditions:

- 1. Approval of any variances or special uses required by the Department of Engineering
- 2. Site plan approval by the Department of Engineering



CITY OF TERRE HAUTE ENGINEERING

ENGINEERING DEPARTMENT

City Hall

17 Harding Avenue, Room 200

Terre Haute, IN 47807 Phone: 812.244.4903 www.terrehaute.in.gov

MARCUS MAURER, P.E.

CITY ENGINEER

MEMORANDUM

TO:

Sydney Shahar

Vigo County Area Planning Department

FROM:

Jason Holler

Lead Building Inspector

DATE:

November 14th, 2024

RE:

Special Ordinance No. 38, 2024

As requested by Area Planning, the Department of Engineering has reviewed the property located at 1701 N. 7th Street, 1705 N. 7th Street, 1715 N. 7th Street, 1704 N. 7th Street, 1716 N. 7th Street, 1707 N. 7th Street, 1700 N. 7th Street, 1708 N. 7th Street and 720 beech Street:

Rezoning of 1701 N. 7th Street and 720 beech Street from C-1
Neighborhood Commerce to C-2 Community Commence District and
rezoning 1705 N. 7th Street, 1715 N. 7th Street, 1704 N. 7th Street, 1716 N.
7th Street, 1707 N. 7th Street, 1700 N. 7th Street and 1708 N. 7th Street from
R-2 Two Family Residence District to C-2 Community Commerce
District.

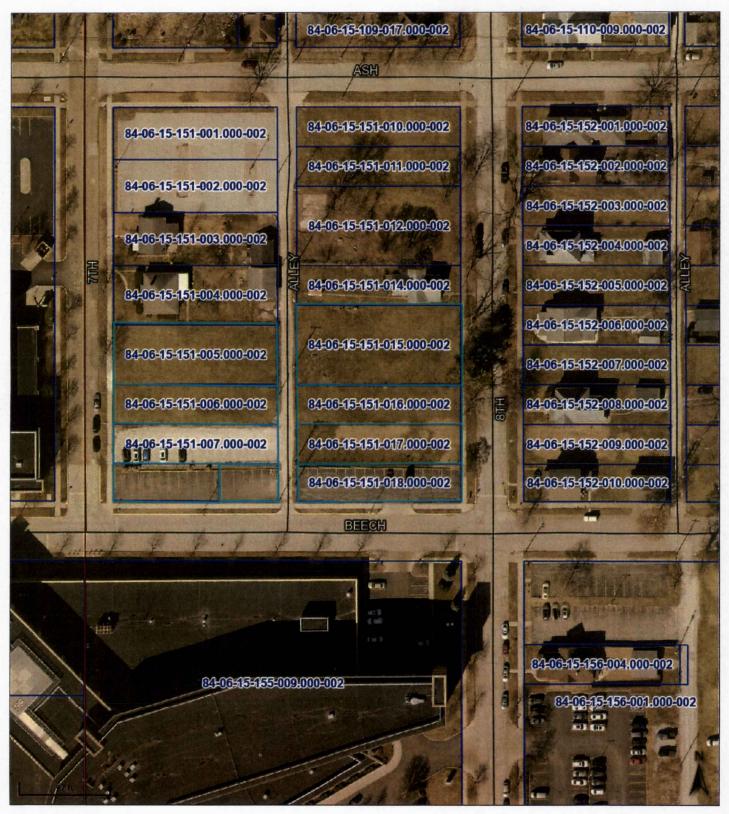
The Intended use is for a Parking lot for additional parking for Union Hospital. The parcels surrounding this property are zoned R-2 to the North and East, parcel to the West are Zoned C-3 and parcel located to the South are zoned C-2. The intended use would not alter the neighborhood's characteristic or create any significant problems for the surrounding area.

The Department of Engineering offers a positive recommendation for this rezoning.

Beacon™ Vigo County, IN / City of Terre Haute

Docket #86 SO #38-24

N. 7th St., N.8th St., Beech



Arriving

On your right: 1704 N Eighth St, Terre
Haute

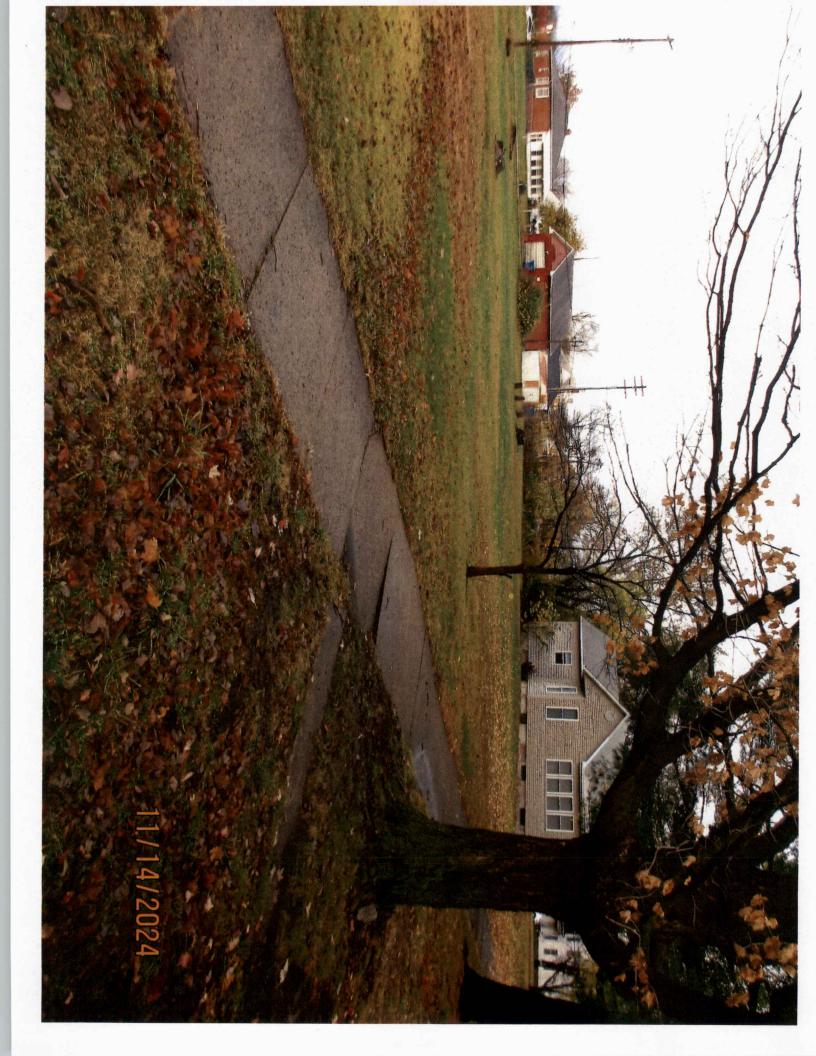
Rate your route



End Route

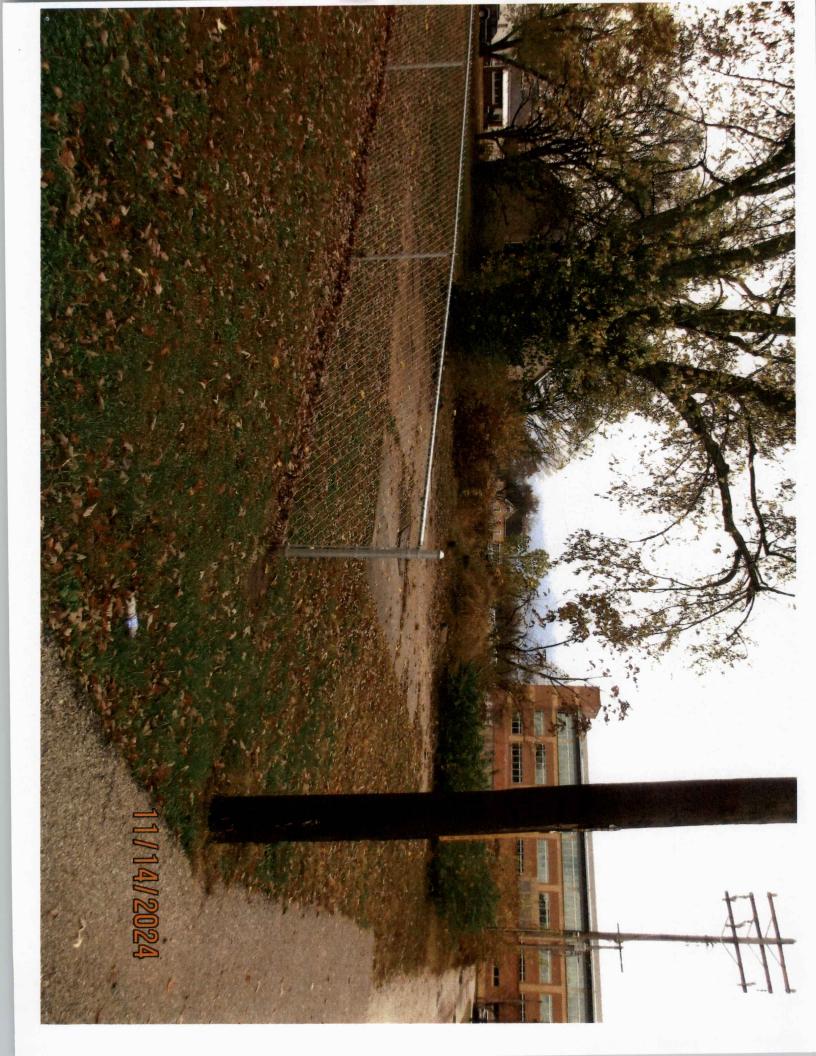














SPECIAL ORDINANCE NO. 38, 2024

APPLICATION FOR REZONING PETITION CITY OF TERRE HAUTE

Common Address of lots to be rezoned:

1705 N. 7th St., Terre Haute, IN 47804 720 Beech St., Terre Haute, IN 47804 Parcel No. 84-06-15-151-007.000-002 Parcel No. 84-06-15-151-009.000-002

1701 N. 7th St., Terre Haute, IN 47804 Parcel No. 84-06-15-151-008.000-002 Parcel No. 84-06-15-151-006.000-002

1715 N. 7th St., Terre Haute, IN 47804 Parcel No. 84-06-15-151-005.000-002 Parcel No. 84-06-15-151-018.000-002

1704 N. 8th St., Terre Haute, IN 47804 Parcel No. 84-06-15-151-017.000-002 Parcel No. 84-06-15-151-016.000-002

1716 N. 8th St., Terre Haute, IN 47804 Parcel No. 84-06-15-151-015.000-002

Current Zoning:

R-2 Two-Family Residence District

C-1 Neighborhood Commerce District

Rezone To:

C-2 Community Commerce District

Proposed Use:

Parking lot

Name of Owner:

Union Hospital Inc. 1606 North 7th Street Terre Haute, IN 47804

Phone Number of Owner

c/o (812) 234-5463

Attorney Representing Owner:

Darrell E. Felling II

Address of Attorney:

Lind & Felling

400 Ohio Street, Terre Haute, IN 47807

For Information Contact:

[] Owner

[x] Attorney

Council Sponsor:

James P. Chalos

COPY OF A SITE-PLAN MUST ACCOMPANY THIS APPLICATION



quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

be and the same is, hereby established as C-2 Community Commerce District, together with all rights and privileges that may inure to said real estate and the owners thereof by virtue of the law in such cases provided, subject to all limitations and restrictions imposed thereon by deed or otherwise.

SECTION II. WHEREAS, an emergency exists for the immediate taking effect of this Ordinance, the same shall be in full force and effect from and after its passage by the Common Council of Terre Haute, and its approval by the Mayor and publication as by law provided.

Introduced by Council Member,	James P. Chalos, Councilperson		
Passed in open Council this	_ day of	, 2024.	
ATTEST:		Tammy Boland, President	
Michelle Edwards, City Clerk	_		



SPECIAL ORDINANCE NO. 38, 2024

An Ordinance Amending Chapter 10, Article 2 of the Municipal Code designated as "Comprehensive Zoning Ordinance for Terre Haute Indiana."

SECTION 1. BE IT ORDAINED BY THE COMMON COUNCIL of the City of Terre Haute, Vigo County, State of Indiana, that Chapter 10, Article 2 of the City Code of Terre Haute, designated as the "Comprehensive Zoning Ordinance for Terre Haute" and Division 4, Section 10-121 thereof, District Maps, be, and the same is hereby amended to include as follows:

That the following described real estate situated in the City of Terre Haute, County of Vigo, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804



Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW ¼) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number 4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West



		Michelle Edv	vards, City	Clerk	<u> </u>
Approved by me, the Ma	yor of the City	of Terre Haute, th	is day	y of	, 2024
		Brandon Sak	bun, Mayo	r	
ATTEST:					
Michelle Edwards, City (Clerk				
I affirm, under the penalt	ies for perjury,	that I have taken r	easonable	care to reda	ct each Social
Security Number in this o					
			Darrell E.		
		Darre	ll E. Fellin	g II	

This instrument prepared by Darrell E. Felling II, Lind & Felling Law Offices, 400 Ohio Street, Terre Haute, Indiana 47807.



PETITION TO REZONE REAL PROPERTY

TO: THE PRESIDENT AND MEMBERS OF THE COMMON COUNCIL OF THE CITY OF TERRE HAUTE, INDIANA;

and THE PRESIDENT AND MEMBERS OF THE AREA PLANNING COMMISSION OF VIGO COUNTY, INDIANA.

LADIES and GENTLEMEN:

The undersigned, on behalf of Union Hospital Inc., respectfully submits this Petition to Rezone the following described real estate in the City of Terre Haute, Vigo County, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804



Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW 1/4) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number



4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

The Petitioner is informed and believes that in accordance with Chapter 10, known and referred to as The Comprehensive Zoning Ordinance for Terre Haute, as amended, the above described real estate is now zoned as R-2 Two-Family Residence District or C-1 Neighborhood Commerce District.

Your Petitioner would respectfully state that the real estate is now unoccupied. Your Petitioner intends to use the real estate as a parking lot.

Your Petitioner would request that the real estate described herein shall be zoned as a C-2 Community Commerce District. Your Petitioner would allege that the C-2 Community Commerce District zoning classification would not alter the general characteristics of this neighborhood.

Your Petitioner would respectfully show the proposed change would not be detrimental to the public welfare or injurious to the property or improvements in the neighborhood.

WHEREFORE, your Petitioner respectfully requests that the Area Planning Commission and the Common Council of the City of Terre Haute, Indiana, favorably consider the passage of a Special Ordinance amending the District Maps of Chapter 10, of the Terre Haute City Code entitled The Comprehensive Zoning Ordinance for Terre Haute, Section 10-121 District Maps and declaring the above-described real estate to be part of the C-2 Community Commerce District of the City of Terre Haute, Indiana, and is entitled to the rights and benefits that may accrue to the real estate and the owner thereof by virtue of the new designation subject to all limitations imposed by deed or otherwise.



IN WITNESS WHEREOF,	the undersigned	Petitioner has caused this	s Petition to Rezone
Real Property to be executed, this	day of	, 2024.	

PETITIONER:

Mike Mullins, CHFM, CHSP System Director of Facilities Union Hospital Inc. 1606 North 7th Street Terre Haute, IN 47804

Lind & Felling 400 Ohio Street Terre Haute, IN 47808 Phone: (812) 232-3388

BY: /s Darrell E. Felling II
Darrell E. Felling II #30608-84
Attorney for Petitioner

The owner and mailing address:

Union Hospital Inc. 1606 North 7th Street Terre Haute, IN 47804



Indiana 47807.	
STATE OF INDIANA)
) SS:
COUNTY OF VIGO)

AFFIDAVIT

Comes now, Mike Mullins, for and on behalf of Union Hospital Inc., being duly sworn upon his oath, deposes and says:

1. That Union Hospital Inc. is the fee simple owner of record of the following described real estate located in the City of Terre Haute, County of Vigo, State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

Also

A sixty (60) foot strip of equal width off the East end of Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL# 84-06-15-151-008.000-002 & 84-06-15-151-009.000-002

Commonly known as: 1701 North 7th Street & 720 Beech Street, Terre Haute IN 47804

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3-5-6-7-8-9 and 10 of Spencers Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana

PARCEL #84-06-15-151-007.000-002

Commonly known as: 1705 North 7th Street, Terre Haute, IN 47804

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot



Number Four (4) and parts of Lots, 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL # 84-06-15-151-006.000-002

Commonly known as: 1707 North 7th Street, Terre Haute, IN 47804

Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-005.000-002

Commonly known as: 1715 North 7th Street, Terre Haute, IN 47804

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW 1/4) of Section 15, Township 12 North, Range 9 West.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-018.000-002

Commonly known as: 1700 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-017.000-002

Commonly known as: 1704 North 8th Street, Terre Haute, IN 47804

Lot Number 58 in Hudson's Subdivision as corrected by Josephus Collett of Lot Number 4 and part of lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.



All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-016.000-002

Commonly known as: 1708 North 8th Street, Terre Haute, IN 47804

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

All located in Harrison Township, Vigo County, State of Indiana.

PARCEL #84-06-15-151-015.000-002

Commonly known as: 1716 North 8th Street, Terre Haute, IN 47804

- 2. That copies of the Deeds, recorded in the records of the Recorder's Office of Vigo County, Indiana, transferring fee simple title to Union Hospital Inc. are attached hereto and made a part hereof and marked as Exhibit A.
- 3. That Affiant makes this Affidavit for the sole purpose of affirming that Union Hospital Inc. is the owner of record of the above-described real estate for which a proposed change to the zoning map of the City of Terre Haute, Indiana, has been filed and to induce the Common Council of the City of Terre Haute, Indiana, to accept the Petition to Rezone Real Property as filed by Mike Mullins, for and on behalf of Union Hospital Inc..
 - 4. Further, Affiant saith not.

Dated at Terre Haute, Indiana, this 28 day of Olow, 2024.

Mike Mullins, CHFM, CHSP System Director of Facilities

Union Hospital Inc.



AMEE FORSYTHE Notary Public, State of Indiana Vermillion County Commission Number 0700815 My Commission Expires May 14, 2025

STATE OF INDIANA) SS: COUNTY OF VIGO

SUBSCRIBED AND SWORN TO before me, a Notary Public in and for said County and State, Mike Mullins appeared in person and executed said document, this _______day of _______

2024.

My County of Residence:

This instrument prepared by Darrell E. Felling II, Lind & Felling, 400 Ohio Street, Terre Haute, Indiana 47807.

DULY ENTERED FOR TAXATION Subject to final acceptance for transfer

NOV 1 3 1997

97 15776



Geden a andres Noo County 017716

FECERITORIA TO TOTAL STREET

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT DALE WALTON and TARA WALTON, individually and as husband and wife, of Vigo County, in the State of Indiana ("Grantors") CONVEY AND WARRANT TO UNION HOSPITAL, INC., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby neknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot 60, in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 in Spencer's Subdivision of the Northwest Quarter (NW 1/4) of Section 15, Township 12 North, Range 9 West.

(Commonly known as 1700 North 8th Street, Terre Haute, Indiana 47804)

IN WITNESS WITEREOF, Grantors have executed this Warranty Deed this 12th day of November, 1997.

Dale Walton

Tara Walton

"GRANTORS"

STATE OF INDIANA

SS

COUNTY OF VIGO

Before me, the undersigned, a Notary Public in and for said County and State this 12th day of November, 1997, personally appeared Dale Walton and Tara Walton, individually and as husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Notary Public

My Commission Expires:

February 9, 2000

Printed Name: B. Curtis Wilkinson

Resident of Vigo County, India

THIS INSTRUMENT PREPARED BY:

Any B. Curtis Wilkinson 333 Ohio St., P.O. Box 800 Tetre Haute, IN 47808 MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: INTERNAL AUDIT 1606 North 7th Street Terre Haute, IN 47804

Sequencing Code 968

RECEIVED FOR RECORD

RECORD 44 A PAGE

1997

RECORTE VICTORISTY

• Subject to final acceptance for Transfer

MAY 28 2019

James W Brown

2019005348 WD \$25.00
05/28/2019 02:27:27P 2 PGS
Stacee Todd
VIGO County Recorder IN
Recorded as Presented

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Beverly B. Grubb, surviving spouse of David W. Grubb, of Terre Haute, Indiana ("Grantor") CONVEYS AND WARRANTS TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Fifty-six (56) and Lot Number Fifty-seven (57) in Hudson's Subdivision of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Eight (8), Nine (9), and Ten (10) of Spencer's Subdivision of the Northwest Quarter of Section Fifteen (15), Township Twelve (12) North, Range Nine (9) West.

Said Plat made in correction of "Hudson's Division" of part of above a recorded in Vol. 3 page 144 of Plat Records of Vigo County, Indiana.

(Commonly known as 1716 North 8th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Beverly B.

Grubb who took title with her now deceased husband, David W. Grubb, to the above-described real estate by a Warranty Deed dated June 27, 1984, and recorded on June 28, 1984, at Deed Record 397, Page 468, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Beverly B. Grubb and David W. Grubb continued unbroken from the time they so acquired title to said real estate until the death of David W. Grubb on October 13, 2018, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 28th day of May, 2019.

Beverly B. Drubb Beverly B. Griffb



STATE OF INDIANA :SS COUNTY OF VIGO)

Before me, the undersigned, a Notary Public in and for said County and State this 28th day of May, 2019, personally appeared Beverly B. Grubb and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori of Berrisfand

VALORI J. BERRISFORD
Notary Public
SEAL
State of Indiana, Vigo County
Commission No. 696797
My Commission Expires:
February 19, 2025

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.



THIS INDENTURE WITNESSETH, That Eric J. Bennett, of Vigo County, State of Indiana, CONVEYS AND WARRANTS to Union Hospital, Inc., a not-for-profit corporation organized and existing under the laws of the State of Indiana, 1606 North Seventh Street, Terre Haute, Indiana 47804, for and in consideration of the sum of One and No/100 (\$1.00) Dollar and other valuable consideration, the receipt of which is hereby acknowledged, the following described Real Estate in Vigo County, in the State of Indiana, to-wit:

Lot Number One (1) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4), and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivisior of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana. Except that part conveyed to Elizabeth V. Garry as shown by instrument dated November 3, 1960 and recorded in Deed Record 322 page 911, records of Recorder's Office of Vigo County, Indiana.

A sixty (60) foot strip of equal width off the East end of Lot Number One (i) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots Three (3), Five (5), Six (6), Seven (7), Eight (8), Nine (9) and Ten (10) of Spencer's Subdivision of the Northwest quarter of Section Fifteen (15), Township Twelve (12) North of Range Nine (9) West in Terre Haute, Indiana.

Grantor represents and warrants that he is one and the same person as the Eric Bennett who took title to the above real estate by Warranty Deed from Edgar A. Stapleton and Alice L. Stapleton, which Warranty Deed was dated November 12, 1985, and was recorded in the Recorder's Office of Vigo County, Indiana, on December 20, 1989, at Book Number 403, Page 678.

person as the Eric J. Bennett who, together with Ronald E. Leach, Ed M. Stone and Randall J. Smith d/b/a Erre Investment Company, were contract buyers under a certain contract originally made between Edgar A. Stapleton and Alice L. Stapleton as sellers and such parties as buyers on December 19, 1981. That the said Ronald E. Leach, Ed M. Stone and Randall J. Smith did assign all of their rights, title and interest to such land contract to Eric J. Bennett by a certain Assignment of Conditional Real Estate Sales Contract dated January 1, 1985.

IN WITNESS WHEREOF, The said Grantor, Eric J. Bennett, has hereunto set his hand and seal this day of Tawary, 1990.

DULY ENTERED FOR TAXATION

19 90

Auditor Vigo County

Eric J. Bennett

(SEAL)



Notary Public County, Indiana

STATE OF INDIANA) :SS COUNTY OF VIGO)

511

WITNESS my hand and Notarial Seal.

Countries:

Resident of VIGO

Mail tax duplicates to: Union Hospital, Inc. 1606 North Seventh

Terre Haute, Indiana 47804

This instrument prepared by B. Curtis Wilkinson, Attorney At Law, 333 Ohio Street, P. O. Box 1567, Terre Haute, Indiana 47808.

RECEIVED FOR RECORD THE SOAY OF JUDITH ANDERSON, RECORDER

ENTERED FOR TAXATION
Subject to final acceptance for Transfer

SEP 2 9 2017

2017009834 WD \$25.0 09/29/2017 01:42:26P 1 PGS Stacee Joy VIGO County Recorder IN Recorded as Presented

James W Brankle VIGO COUNTY AUDITOR

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Barbara G. Grubb, unremarried widower, of Terre Haute, Indiana, acting herein by and through David W. Grubb, her Attorney-in-Fact, duly appointed and acting pursuant to a Power of Attorney dated September 11, 2015, and recorded on September 18, 2017 with the Recorder of Vigo County, Indiana, being assigned Instrument No. 2017009369PO ("Grantor") does hereby CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number 58 in Hudson's Subdivision as corrected by Josphus Collett of Lot Number 4 and part of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the North West quarter of Section 15, Township 12 North, Range 9 West.

(Commonly known as 1708 North 8th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Barbara G. Grubb who took title with her now deceased husband, Bernard W. Grubb, to the above-described real estate by a Warranty Deed dated June 10, 1952, and recorded on June 16, 1952, at Deed Record 271, Page 261, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Barbara G. Grubb and Bernard W. Grubb continued unbroken from the time they so acquired title to said real estate until the death of Bernard W. Grubb on March 7, 2014, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 29th day of September, 2017.

STATE OF INDIANA

:SS

COUNTY OF VIGO

)

Before me, the undersigned, a Notary Public in and for said County and State this 29th day of September, 2017, personally appeared Barbara G. Grubb, by David W. Grubb, POA and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

VALORI J BERRISFORD Notary Public, State of Indiana Vigo County My Commission Expires

My Commission Expires February 19, 2025

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807 MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

> I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

Curtis Wilkinson

DULY ENTERED FOR TAXATION Subject to final acceptance for transfer

OCT 0.9 2012

2012015307 WD 10/09/2012 03:03:20P 1 PGS VIGO County Recorder

Jenoth Vr Chime

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Billie F. Leavitt, of Terre Haute, Indiana ("Grantor") CONVEYS AND WARRANTS TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

> Lot 4, and the South half of Lot 5, in Hudson's Subdivision of Lot 4 and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest Quarter of Section 15, Township 12 North, Range 9 West, the Plat whereof is recorded in the Recorder's Office of Vigo County, Indiana, in Plat Record 4, page 68.

(Commonly known as 1715 North 7th Street, Terre Haute, Indiana 47804).

Grantor represents and warrants that she is one and the same person as the Billie F. Leavitt who took title with her now deceased husband, Robert E. Leavitt, Sr., to the above-described real estate by a Warranty Deed dated and recorded on July 21, 1972, at Deed Record 356, Page 958-2, Records of the Recorder's Office, Vigo County, Indiana, and that the marital relationship which existed between said Billie F. Leavitt and Robert E. Leavitt, Sr. continued unbroken from the time they so acquired title to said real estate until the death of Robert E. Leavitt, Sr. August 22, 2010, at which time Grantor acquired title to said real estate as surviving tenant by the entirety.

IN WITNESS WHEREOF, Grantor has executed this Warranty Deed this 5th day of October, 2012.

Silly & Runts

STATE OF INDIANA

:SS

COUNTY OF VIGO

)

Before me, the undersigned, a Notary Public in and for said County and State this 5th day of October, 2012, personally appeared Billie F. Leavitt and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Resident of Vigo County, Indiana

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84

Wilkinson, Goeller, Modesitt,

My Commission Expires: February 19, 2017

Wilkinson & Drummy, LLP

333 Ohio Street

Terre Haute, IN 47807

MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING

1606 North 7th Street

Terre Haute, IN 47804

Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson

DULY ENTERED FOR TAXATION Subject to final acceptance for transfer

APR 26 2016





Junear Yn Stephen VIGO COUNTY AUDITOR

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT David L. Pettyjohn and Roshelle R. Pettyjohn, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Three (3) in Hudson's Subdivision (as amended by Josephus Collett) of Lot Number Four (4) and parts of Lots 3, 5, 6, 7, 8, 9 and 10 of Spencer's Subdivision of the Northwest quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

(Commonly known as 1707 North 7th Street, Terre Haute, Indiana 47804).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 22nd day of April, 2016.

Roshelle R. Pettyjohn

STATE OF INDIANA

:SS

COUNTY OF VIGO

)

Before me, the undersigned, a Notary Public in and for said County and State this 22nd day of April, 2016, personally appeared David L. Pettyjohn and Rosehelle R. Pettyjohn, husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Vigo County
My Commission Expires
February 19, 2017

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807 MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson

JUN 02 2016

Jenos y M Alguda. VIGO COUNTY AUDITOR 2016005584 WD \$18.00 06/02/2016 02:52:57P 1 PGS NANCY S. ALLSUP VIGO County Recorder IN Recorded as Presented

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Nick Tschudny and Kathy H. Tschudny, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Two (2) in Hudson's Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots Nos. 3- 5- 6-7-8-9 and 10 of Spencers Subdivision of the North West quarter of Section 15, Township 12 North of Range 9 West of the 2nd Principal Meridian.

(Commonly known as 1705 North 7th Street, Terre Haute, Indiana 47804).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 2nd day of June, 2016.

Nick Tschudny

Kathy H. Tschudny

STATE OF INDIANA

:SS

COUNTY OF VIGO

Before me, the undersigned, a Notary Public in and for said County and State this 2nd day of June, 2016, personally appeared Nick Tschudny and Kathy H. Tschudny, husband and wife, and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

R Curtie Wilkinson

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807 JUL 01 2011

Jindy m Algude VIGO COUNTY AUDITOR



2011008198 WD \$16.00 07/01/2011 02:27:25P 1 PGS NANCY S. ALLSUP VIGO County Recorder IN Recorded as Presented

WARRANTY DEED

THIS INDENTURE WITNESSETH, THAT Stanley E. Kerr and Melody L. Kerr, husband and wife, of Terre Haute, Indiana ("Grantors") CONVEY AND WARRANT TO Union Hospital, Inc., an Indiana nonprofit corporation, whose address is 1606 North Seventh Street, Terre Haute, Vigo County, State of Indiana, for the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, the following described real estate located in Vigo County, in the State of Indiana:

Lot Number Fifty-nine (59) in Hudsons Subdivision (as amended by Josephus Collett) of Lot No. 4 and parts of Lots 3-5-6-7-8-9 and 10 in Spencer's Subdivision of the North West quarter of Section, 15 Town, 12 North of Range 9 West of the 2d principal Meridian.

(Commonly known as 1704 North 8th Street, Terre Haute, Indiana 47804).

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed this 1st day of July, 2011.

Stanley E. Kerr

Stanley E. Kerr

Melody L. Kerr

STATE OF INDIANA

:SS

COUNTY OF VIGO

)

Before me, the undersigned, a Notary Public in and for said County and State this 1st day of July, 2011, personally appeared Stanfey E. Kerr and Melody L. Kerr and acknowledged the execution of the above Warranty Deed.

Witness my hand and notarial seal.

Valori J. Bernsford, Notary Public

My Commission Expires:

February 19, 2017

Resident of Vigo County, Indiana

THIS INSTRUMENT PREPARED BY:

Atty B. Curtis Wilkinson, #1246-84 Wilkinson, Goeller, Modesitt, Wilkinson & Drummy, LLP 333 Ohio Street Terre Haute, IN 47807 MAIL TAX DUPLICATES TO:

Union Hospital, Inc. ATTN: ACCOUNTING 1606 North 7th Street Terre Haute, IN 47804 Sequencing Code 968

> I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

B. Curtis Wilkinson



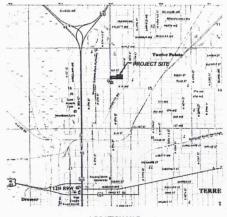
PROJECT STE.

SCALE: 1" = 1000"

CONSTRUCTION PLANS FOR UNION HOSPITAL NEW PARKING

VIGO COUNTY, INDIANA

PART OF THE NW 1/4 OF SECTION 15, TOWNSHIP 12N, RANGE 9W HARRISON TOWNSHIP



TERRE HAUTE QUAD SCALE: 1" = 2000



Latitude 39*29'12"N Longitude 87*24'23"W

INDEX-

SHEET NUMBER	DESCRIPTION
C001	TITLE SHEET
C002	GENERAL NOTES AND LEGEND
C003	EXISTING CONDITIONS
C101	SITE PLANS
C201	GRADING AND DRAINAGE PLAN
C401	SWPPP
C402	EROSION CONTROL PLAN
C403	EROSION CONTROL PLAN DETAILS
C901	STANDARD SPECIFICATIONS

OWNER: UNION HOSPITAL INC. MKE MULLINS 1606 N 7TH STREET TERRE HAUTE, IN 47804 (812)-232-4311

ENGINEER:
ALIGN CEC, INC.
EVAN MILLER, P.E.
EVAN MILLER, P.E.
EVAN STREET
TERRE HAUTE, IN 47802
(812) 238-9731
EMILLER:@ALIGNCEC.COM

ALIGN





GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES AND INDUSTRY STANDARDS,
- THE ENGINEER HAS APPLIED FOR CONSTRUCTION PERMITS FROM IDEM FOR CSGP EROSION CONTROL. AND TO THE CITY OF TERRE HAUTE FOR SITE DEVELOPMENT APPROVAL. THE CONTRACTOR SHALL DOTAIN ALL OTHER PERMITS AND PAY ALL FEES REGUIRED TO CONSTRUCT THE PROJECT.
- 3. ROAD CLOSURES ARE PERMITTED ONLY WITH APPROVAL FROM THE CITY OF
- 4. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LACK OF LOCATION OR MISSED LOCATION OF EXISTING UTILITIES, ALL LOCATIONS, SIZES, AND INVERTS OF EXISTING UTILITIES SHOWN ARE BASED ON THE BEST INFORMATION AVAILABLE, HOWEVER, THE ENGINEER DOES NOT GUARANTEE OR ASSURE THAT SUCH HOPORMATION IS TRUE OR EVEN APPROXIMATE. THE CONTRACTOR SHALL DETERMINE WHICH UTILITIES CONFLICT WITH THE PROPOSED IMPROVEMENTS AND VERIFY THE LOCATIONS, SIZES, AND INVERTS. THE CONTRACTOR SHALL ADJUST WORK ACCORDINGLY AND NOTIFY THE ENGINEER OF ANY SUCH CONFLICTS. THE CONTRACTOR SHALL ADJUST WORK ACCORDINGLY AND NOTIFY THE ANGWE, THE SECTIONS OF THE CONTRACTOR SHALL REFER TO APPLICABLE SECTIONS OF THE CONTRACTOR SHALL RETURN TO THE ANGWE, THE SECTION OF THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH UTILITY COMPANIES FOR PLANNED RESPONSIBLE FOR COORDINATING WITH UTILITY COMPANIES FOR PLANNED
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION OF OVERHEAD OBSTRUCTIONS, ESPECIALLY OVERHEAD FLECTRIC LINES.
- 6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO AVOID EXISTING UTILITIES, AND PERFORM ANY REQUIRED REPHIRS. IN ADDITION TO ALL UTILITY LIVES, THE CONTRACTOR IS RESPONSIBLE FOR ANY DAWAGE AND REPAIRS TO BURIED PIBER OPTIC CABLE. FIELD DEARANGE THES, AND PRIVATE IRRIGATION SYSTEMS. THE CONTRACTOR SHALL NOTIFY THE OWNER-RENGINEER WEEN UTILITIES OF OTHER SUBSIDIATED CENTRACTOR SHALL NOTIFY THE OWNER-RENGINEER WEEN UTILITIES OF OTHER SUBSIDIATED CENTRACTOR SERVICE SHALL BE NOTIFIED AT LEAST ALL NORS PRIOR TO BEGINNING ANY WORK. INDIANA UNDERGROUND UTILITIES PROTECTION SERVICE SHALL BE NOTIFIED AT LEAST ALL DEAR OFFICE SHALL BE NOTIFIED AT LEAST ALL DEAR OFFI THE SHALL BE NOTIFIED AT LEAST ALL DEAR OFFI THE SHALL DEAR OFFI
- 7. THE ENGINEER SHALL BE NOTIFIED OF ANY FIELD TILES FOUND DURING CONSTRUCTION OPERATIONS. IF DAMAGED DURING CONSTRUCTION THE CONTRACTOR SHALL, AT HIS EXPENSE, REPAIR THE DAMAGED PORTION AND SHALL IF RECESSARY, EXPEND THE THE TO THE PREAREST STORM INLET, MANHOLE, OR POINT OF POSSIBLE DUTLET IN ACCORDANCE WITH LOCAUSTATE REQUIREMENTS, AND AS DIRECTED BY THE ENGINEER.
- 8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER NEEDED FOR ANY TESTING, CLEANING, ETC.
- PIPE APPURTENANCES ARE NOT SPECIFICALLY CALLED OUT ON THE PLANS. THE CONTRACTOR'S BID SHALL INCLUDE ALL APPURTENANCES NECESSARY FOR CONSTRUCTION.
- THE COORDINATE VALUES SHOWN ARE IN THE INDIANA STATE PLANE COORDINATE SYSTEM WEST ZONE ON THE 1983 NORTH AMERICAN DATUM, US SURVEY FEET. SITE CONTOURS WERE GENERATED FROM A FIELD SURVEY.
- ALL GRADES ARE TO BE VERIFIED IN THE FIELD. THE ENGINEER RESERVES THE RIGHT TO ADJUST GRADES TO MINIMIZE GRADING AFTER FIELD STUDY.
- 12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION STAKING.
- DO NOT INTERRUPT EXISTING UTILITIES SERVING OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED BY THE UTILITY COMPANY IN WRITING.
- 14. ALL CONSTRUCTION SHALL BE PERFORMED IN A MANNER THAT DOES NOT ALLOW ERODED SOIL TO LEAVE THE PROPERTY. THE CONTRACTOR SHALL SE RESPONSIBLE FOR THE INSTALLATION AND MINITENANCE OF EROSION CONTROL MEASURES UNTIL CONSTRUCTION IS COMPLETE AND SOIL CONDITIONS ARE STRAULED ACCORDING TO THE EROSION CONTROL PLAN & SPECIFICATIONS, KEEP ALL MIJO, STONE RESIDUE, AND OTHER WATER-BORN MATERIAL OFF OF THE PAYMENT SUFFACE.
- ALL AREAS DISTURBED BY CONSTRUCTION AND DESIGNATED FOR GRASS, INCLUDING THE FILLED AREA BEHIND CURB SHALL BE GRADED FOR POSITIVE DRIVINGE WITH A MINIMUM OF 6" OF TOPSOIL ALL AREAS SHALL BE PREPARED, FERTILIZED, PLANTED, AND MULCHED BY THE CONTRACTOR.
- 16. PAVEMENT MARKINGS SHALL BE PLACED IN ACCORDANCE WITH MUTCD, LATEST
- 17. CONTRACTOR SHALL BE RESPONSIBLE FOR QUALITY CONTROL. THE OWNER MAY CHOOSE TO HAVE INDEPENDENT INSPECTION OR TESTING FOR VARIOUS ITEMS. THIS DOES NOT RELIEVE THE CONTRACTOR OF HISHER DUTIES TO CONSTRUCT THE PROJECT IN ACCORDANCE WITH PLANS AND SPECIFICATIONS, OR TO PERFORM HISHER OWN TESTING TO ENSURE THEY ARE IN COMPUTANCE.
- 18. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.

KEY NOTES

- SUBGRADE SHALL BE PREPARED AND COMPACTED IN ACCORDANCE WITH INDOT STANDARD SPEC SECTION 207, SUBGRADE TREATMENT TYPE III. COST OF SUBGRADE PREPARATION SHALL BE INCLUDED IN THE COST OF OTHER PAY ITEMS, CONTRACTOR SHALL PROVIDE A MINMUM 24-RR NOTICE TO OWNER AND ENGINEER FOR SCHEDULED PROPERSUL ACTIVITIES.
- A GEOTECHNICAL REPORT WAS NOT PROVIDED BY OWNER OR ARCHITECT.
 CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SOIL SUITABILITY
 FOR SITE CONSTRUCTION. THAS SHALL INCLUDE ANY ADDITIONAL
 INVESTIGATIONS OR TESTING DURING CONSTRUCTION.

UTILITIES

TERRE HAUTE ENGINEERING
DEPARTMENT
CITY ENGINEER - MARCUS MAURER, P.E.

ENGINEERING@TERREHAUTE.IN.GOV (812) 244-4903 DUKE ENERGY (ELECTRIC) CENTERPOINT ENERGY (GAS)

BENCHMARKS

BENCHMARK #243 (BENCH TIE IN UTILITY POLE) N: 1543857.751 E: 2861557.701 EL = 494.00

ACP #1 N: 1543831,215 E: 2861534,367 EL = 491,76

ACP #2 (P.K. NAIL) N: 1543777.747 E: 2861801.809 EL = 492.92

ACP #3 N: 1544001.983 E: 2861568.772 EL = 491.42

INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, CURRENT EDITION, SHALL BE USED WITH THESE PLANS,

EXISTING LEGEND

	Existing Linework
===	

Boundary Monuments	Utility Topo	Misc Topo
	Unity Topic and Committee	CONTROL TO STATE OF THE STATE O



SECTION 15, TOWNSHIP 9 HORTH, RANGE 9
WEST OF THE SECOLO PRINCIPAL
MENDIAH, HARRISON TOWNSHIP, CITY OF
TERRE HAUTE, VIGO COUNTY, INDIANA

1216 S. Jed Street
Terre Hunds, Jis 47802
e12206.9731

Jackson Street Sude B Te seth, N 46135 Te ALIGNCEC.COM ALIGNCEC.COM AND SOUTH SE SEGMENT

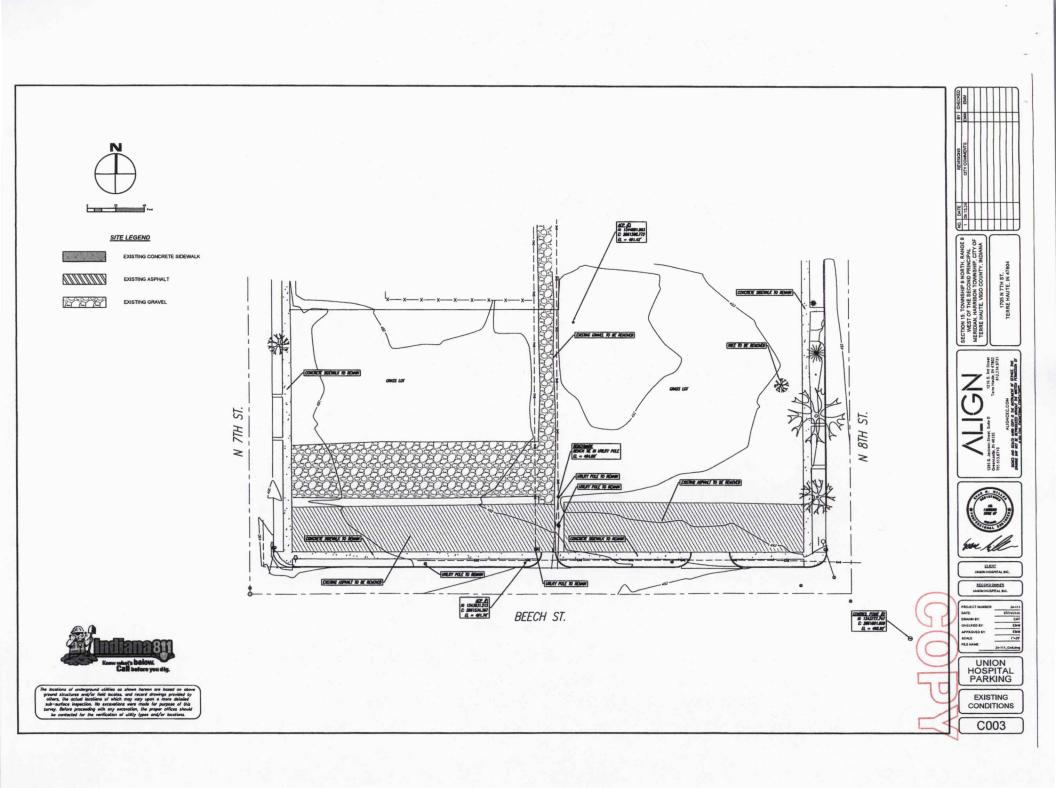


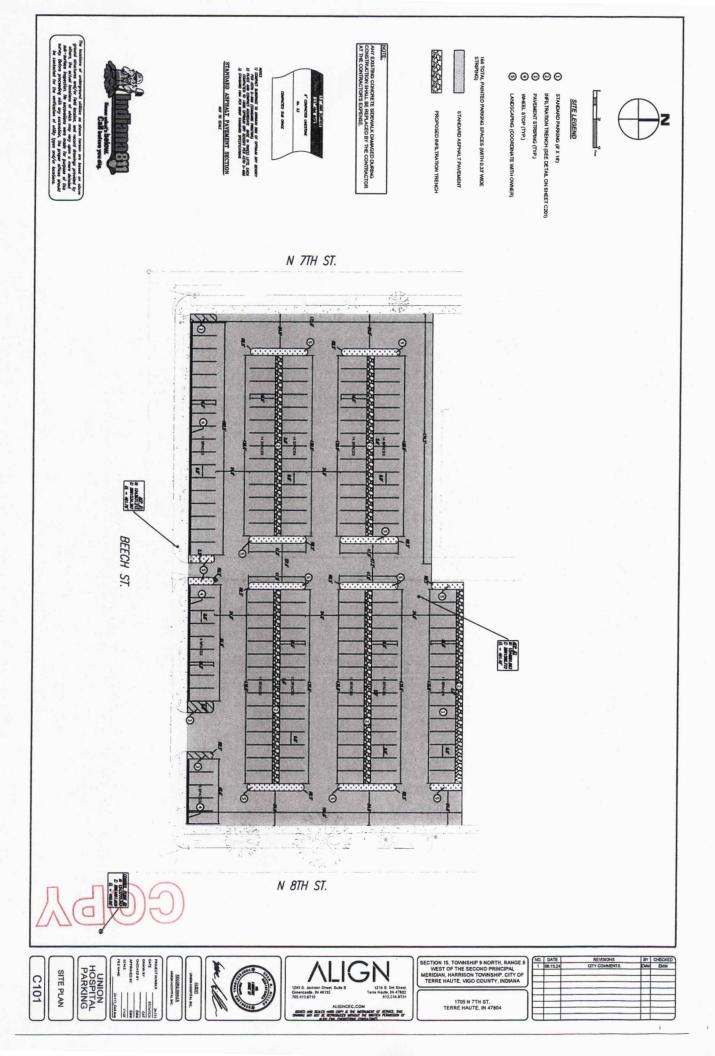
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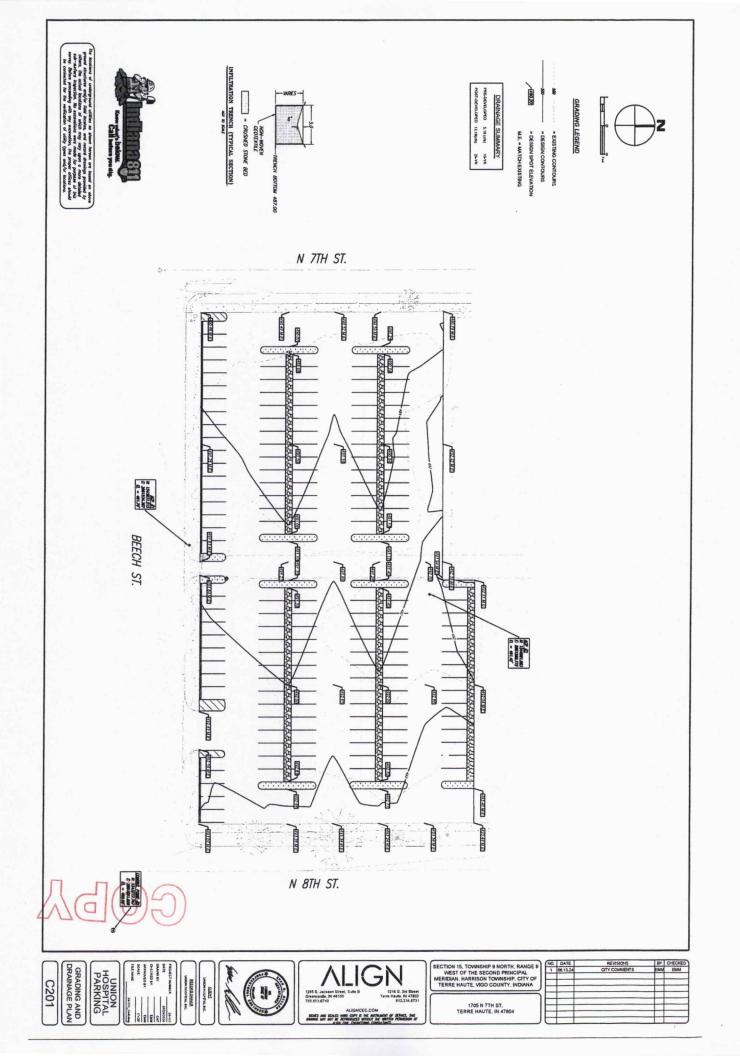
PROJECT NUMBER 24-111
DATE 07/3/02/4
DRAWN BY CAT
CHICKED BY EMM
APPROVED BY EMM
SCALE
FRE NAME 24-111_CHAPPE

UNION HOSPITAL PARKING

EXISTING CONDITIONS







Storm Water Pollution Prevention Plan

Construction Plan Element (Section A)

See general information Sheet C001

A2. Vicinity Map

A3. Narrative Describing the Nature and Purpose of Project

The project is located on the block between 7th Street and 8th Street and Beech Street and Ash Street, Terre Haute, IN. The proposed project consists of new parking lot with proposed infiltration trenches.

A4. Latitude and Longitude of the Project: Latitude: 39*29'12" N. Longitude: 87*24'23" W

A5. Legal Description of the Project

on 15 Township 12 North Range 9 West, Vigo County, Harrison Township

A6, 11x17 Inch Plat

A7. Boundaries of 100yr Floodplains, Floodways Fringes, and Floodways
This property is not located in a floodplain per FEMA Map 18167C0162C, February 18th, 2011.

AS Adjacent Land Use Adjacent Land Use: West Block: Commercial (Hospital) North Block: Residential

A9. Identification of a U.S. EPA Approved or Established Total Maximum Daily Load (TMDL)

Water will leave the site by infiltration into the soil

A11, Identification of Discharges to a Water on the Current 303 (d) List of Impaired Waters and the Pollutant(s) for which it is impaired

A12. Soil Map of Predominate Soil Types Soil types present consist of Elston sand loam.

A13. Identification and Location of all Known Wetlands, Lakes and Water Courses on or Adjacent to to the

Project Site

A14. Identification of any Other State or Federal Water Quality Permits or Authorizations that are Required for Construction Activities

A15, Identification and Delineation of Existing Cover

Some asphalt and gravel as well as grass.

A16. Existing Site Topography See Plan Sheet C003

A17 Location(s) where Run-Off Enters the Project Site

Run-off may enter the site from the East side of the project. Existing drainage pattern water flows from East to

A18, Location(s) where Run-off Discharges from the Project Site Prior to Land Disturbance

A19. Location all Existing Structures on the Project Site See Plan Sheet C003

A20. Existing or Permanent Retention or Detention Facilities

A21. Locations where Stormwater may be directly Discharged into Ground Water

Runoff may enter the ground water via natural filtration through the soil. No known abandoned wells on site.

A22, Size of Project Area

1.59 acres

A23. Total Expected Land Disturbance

A24, Proposed Final Topography

A25. Locations and Approximate Boundaries off All Disturbed Areas

A26. Location, Size, and Dimensions of all Stormwater Drainage Systems See Sheet C201

A27. Locations of Specific Points where Stormwater and Non-Stormwater Discharges will Leave the

er will be leaving the site via infiltration through infiltration trenches.

A28. Location of all Proposed Site Improvements

A29. Location of all On-site and Off-Site Soil Stockpiles and Borrow Areas

A30, Construction Support Activities that are Expected to be part of the Project

A31. Location of any in-Stream Actvities that are Planned for the Project

Stormwater Poliution Prevention - Construction Component (Section B)

R1 Description of Potential Pollutant Sources

Potential pollutant sources associated with the construction are anticipated to be silt runoff, petroleum and petroleum based chemicals from equipment and vehicles, fertilizer used for temporary and permanent seeding and, concrete from truck washout. These are all addressed in this plan.

B2. Stable Construction Entrance Locations and Specifications

The construction entrance for this project will be located as shown on sheet C402. Property shall be kept clear of sediment, trash, and any other construction materials (including fluids). Access to the construction entrance will be from Reach Street, which shall be kent clean of mud and silt

B3. Specifications for Temporary and Permanent Stabilization

All areas left disturbed for 7 days or more shall have temporary seeding applied according to the attached specifications (Indiana Department of Environmental Management Manuel, Chapter 7). If construction is completed in an area, permanent seeding may be applied instead of temporary. Temporary seeding shall be applied as

	ed Species	Rate/Acre	Planting Depth	Optimum Dates
Wh	neat or Rye	150 lbs	1 to 1.5 in.	9/15 to 10/30
Spi	ring Oats	100 lbs	1 in.	3/1 to 4/15
An	nual Ryegrass	40 lbs	0.25 in.	3/1 to 5/1 & 8/1 to 9/
Ge	rman Millet	40 lbs	1 to 2 in.	5/1 to 6/1
Su	dangrass	35 lbs	1 to 2 in.	5/1 to 7/30
Bu	ckwheat	60 lbs	1 to 2 in.	4/15 to 6/1
Co	rn (Broadcast)	300 lbs	1 to 2 in.	5/11-8/10
So	rghum	35 lbs	1 to 2 in.	5/1-7/15

Once construction is completed in areas outside of the building, sidewalk, or paving limits, permanent seeding is to take place. This is to be done according to the attached specifications for Permanent Seeding. The specifications state what type of seed mixes are to be used and how to apply them. Optimum seeding dates are March 1 to May 10 and August 10 to September 30. Seeding done between May 10 and August 10 may require irrigation. As an alternative, temporary seeding may be used until the optimum dates for perr

R4. Sediment Control for Concentrated Flow Areas

B5. Sediment Control for Sheet Flow Areas

Sheet flow will be the primary runoff type for this project. Silt fence will be placed as directed in the Erosion Control

B7. Stormwater Outlet Protection Location and Specifications

B8, Grade Stabilization Structure Locations and Specifications

89. Dewatering Applications and Management Methods

B10. Measures Utilized for Work within Waterbodies

B11. Maintenance Guidelines for each Proposed Stromwater Quality Measure

Monitoring and maintenance of the practices will be in accordance with the attached specification for each practice.

The contractor shall have a person knowledgeable in erosion and sediment control that shall inspect the site for stormwater pollution deficiencies at least once weekly and again within 24 hours of every 1/2 inch rain event.

B12. Planned Construction Sequence

Pre-Construction Practices

1. Notify IDEM CSGP coordinator (317-233-4864) and City of Terre Haute Public Works Office within 48 hours of starting construction. Schedule a pre-construction meeting after the perimeter practices have been installed.

Perimeter silt fence shall be installed prior to any land disturbing activities as shown on the Erosion Control Plan. See sheet C402.

A 3' buffer area of existing vegetation shall be maintained between the disturbed areas and silt fence.

Topsoil stockpiles will be located on site, as shown on the Erosion Control Plan. Any amount of topsoil

stockpiled shall be surrounded with silt fence prior to placing any material there.

There will be a construction entrance from Beech St. The construction entrance will be constructed of No. 2

stone placed to a depth of 8-in placed on top of geotextile fabric. This entrance shall be a minimum of 50-ft long x 24-ft wide, to allow for two-way traffic.
Install Construction Entrance, fueling area, port-a-potty, soild waste bin, concrete washout facility, and

equipment staging area.

Post the contact information at the construction entrance. Include a copy of the NOI and contact information for the on-site person who is responsible for implementing the storm water pollution prevention plan. The SWPPP should be on-site and weekly reports need to be available within 48 hours of a request.

During Construction Practices

Inspection and maintenance of the Erosion Control practices initiated will continue throughout the construction time period. Inspections will be at least once a week. Inspections will be made following every % inch rain event. Inspection is to be made by construction personnel trained individually and erosic

All areas on the property that have been cleared or graded shall have temporary seeding planted as early All disturbed areas shall have permanent seed within 7 days after finished grading operations as specified in

All disturbed area not at final grade left idle for more than 7 days shall be temporary seeded as per B3 of

this sheet.

Land disturbing activities shall be kept to a minimum until these practices are installed.

Post Construction Practices

Inspection and maintenance of the Erosion Control practices initiated will continue after construction is complete. Sediment control practices shall be removed after the site is stabilized.

The contractor shall remove the temporary erosion or sediment control devices as each area is permanently

B13. Provisions for Erosion and Sediment Control on Individual Residential Building Lots Regulated under the Proposed Project

B14, Material Handling and Spill Prevention and Spill Response plan Meeting the requirements in 327 IAC

Materials that may be present on site during construction will be petroleum-based products. These materials should be handled in a common area used to fuel and service equipment. Any spill of petroleum that exceeds 55 gallons must be reported to the Indiana Department of Environmental Management, Office of Environmental Response at (888) 233-7745 or (317) 233-7745 within 2 hours as well as the Torre Haute Fire Department. Any smaller spills will be contained and all affected materials shall be removed and hauled to an approved location for disposal. All materials used on site shall have an available MSDS sheet to specify what is to be done in case of a

B15. Material Handling and Storage Procedures Associated with Construction Activity

Stormwater Poliution Prevention Plan - Post Construction Component (Section C)

C1. Description of Pollutants and their Sources Associated with Proposed Land Use The site will be used as a Parking Lot, Sidewalk and Landscaping. Possible post construction pollutants would be gas/oil from vehicles in and out of the site as well as salt/sand and trast/litter.

C2. Description of Proposed Post Construction Stormwater Quality Measures

Areas to be seeded will be fine graded in order to establish a good stand of grass in order to prevent erosion. manent seeding must be done within 7 days of the end of construction.

C3. Plan Details for each Stormwater Measure
Permanent seeding will be in accordance with the attached specifications. See sheet C403.

C4. Sequence Describing Stormwater Quality Measure Implementation
Seeding areas shall include all areas outside of the pavement and sidewalk as shown on the plans.

C5. Maintenance Guidelines for Proposed Post-Construction Stormwater Measures Contractor will be responsible for establishing and maintaining the seeded areas until grass is fully established and

C6. Entity that will be Responsible for Operation and Maintenance of the Post-Construction Stormwater

The property owner will assume responsibility of the site post-construction.







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SWPPP

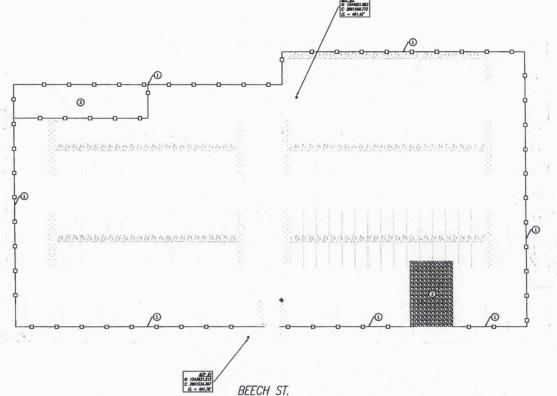




EROSION CONTROL LEGEND

- 1 SILT FENCE
- 3 TOPSOIL STOCKPILE







8TH ST.



DRAWN BY.
CHECKED BY.
APPROVED BY.
SCALE
FRE HAME

UNION HOSPITAL PARKING

EROSION CONTROL PLAN



Erosion Control Plan Details

1.75 staples persq. yd. (2.1 staples per sq m)

EROSION CONTROL BLANKET

Begin at the top of channel by anchoring the blanket in a 6" deep by 6" wide trench, Backfill and compact the trench after stapling.

3. Roll center blanket in direction of water flow on bottom of channel

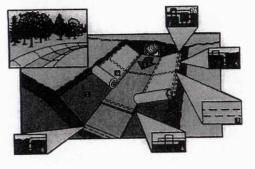
Place blankets end over end (shingle style) with a 6" overlap, Use a double row of dangered staples 4" apart to secure blankets.

Full-length edge of blankets at top of side slopes must be anchored in 6" by 6" wide tranch, Backfå and compact the trench after stapling.

6. Blankets on side slopes must be overlapped 4" over the center blanket and staples.

7. In high flow channel applications, a Staple check slot is recommended at 30 to 40 floot intervals. Use a row of staples 4" apart over entire width of the channel, Place a second row 4" below the final row in a staggered pattern.

. The terminal end of the blankets must be anchored in a 5" deep by 5" wide trench ackfill and compact the trench after stapling.



CONSTRUCTION SEQUENCE FOR SITE EROSION CONTROL PRACTICES

STEP 1. Evaluate the Site

Before construction, evaluate the entire site, marking for protection any important trees and associated rooting zones, unique areas to be preserved, on-site septic system absorption fields, and vegetation suitable for filter strips, especially in

Identify Vegetation To Be Saved

. Select and identify the trees, shrubs, and other vegetation that you want to save (see "Vegetation Filter Strips" under Step 2 below).

- . To prevent root damage, do not grade, burn, place soil piles, or park vehicles near trees or in areas marked for preservation.
- . Place plastic mesh or snow fence barriers around tree's drip line to protect the
- Place a physical barrier, such as plastic fencing, around the area designated for
 Any area left disturbed for 7 days must be temporary seeded. a septic system absorption field (if applicable).

STEP 2. Install Perimeter Erosion and Sediment Controls

Identify the areas where sediment-laden runoff could leave the construction site, and install perimeter controls to minimize the potential for off-site sedimentation. It's important that perimeter controls are in place before any other earth-moving

Protect Down-Slope Areas

With Silt Fence

Use silt fencing along the perimeter of the lot's downslope side(s) to trap sediment (see Specifications).

. Restrict all lot access to this drive to prevent vehicles from tracking mud on to

Salvage and Stockpile the Topsoil/Subsoil

- · Remove topsoil (typically the upper 4 to 6 inches of soil material) and stockpile.
- · Remove subsoil and stockpile separately from the topsoil.

- . Locate the stockpiles away from any downslope street driveway, stream lake.
- Immediately after stockpiling, temporary-seed the stockpiles with annual rye or winter wheat and/or place sediment barriers around the perimeter of the piles.

STEP 4. Build the Structure(s) and Install the Utilities Construct the site and install the utilities then consider the following

Install Temporary Erosion Control Measures

- · Silt Fence
- Erosion control blanket
- Riprap check dams once ditches are cut
- . Temporary sediment trap at pond outlet pipe once pond is constructed

Seed or Sod Bare Areas

- Follow recommendations of a professional landscaping contractor for installation
- Water newly seeded/sodded areas every day or two to keep the soil moist. Less watering is needed once grass is 2 inches tall

STEP 5. Maintain the Control Practices

Maintain all erosion and sediment control practices until construction is complete and the site is stabilized.

- Inspect the control practices a minimum of twice a week and after each storm event, making any needed repairs immediately.
- . Toward the end of each work day, sweep or scrape up any soil tracked onto roadways. Do not flush areas with water.
- . By the end of the next work day after a storm event, clean up any soil washed

STEP 3. Prepare the Site for Construction
Prepare the site for construction and for installation of utilities. Make sure all contractors (especially the excavating contractor) are aware of areas to be protected.

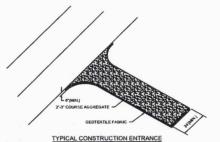
STEP 4. Revegetate the Site installation of utilities are complete, stabilize the lot with contractors (especially the excavating contractor) are aware of areas to be protected.

STEP 5. Revegetate the Site installation of utilities are complete, stabilize the lot with contractors (especially the excavating contractor) are aware of areas to be protected.

Redistribute the Stockpiled Topsoil and Subsoil

- · Spread the stockpiled subsoil to rough grade
- · Spread the stockpiled topsoil to a depth of 4 to 6 inches over rough-graded
- · Fertilize and lime according to soil test results or recommendations of a seed

STEP 7. Remove Remaining Temporary Control Measures
Once the sod and/or vegetation is well established, remove any remaining temporary
erosion and sediment control practices.



Erosion Control Practices shall be as per the IDEM Indiana Storm Water Quality Manual, unless stated otherwise.

Erosion Control Blankets

To be used in areas where slope is 3:1 or greater

Permanent Seeding Recommendations

Temporary Seeding: (If areas remain open for 7 days)

Wheat or Rye 150 lbs. 1 to 1 1/2 in 9/15 to 10/30

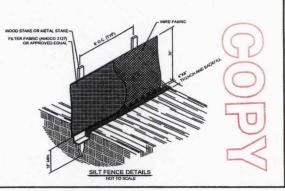
Mulch Anchoring
Tack, Crimp, or Apply biodegradable netting over mulch and staple with 6-8 in. wire staples. Follow manufacturer's recommendations for

Stabilizing measures
Temporary or permanent seeding, silt fence, or other erosion control measures shall be used within seven days after the land has been disturbed Erosion control measures will be maintained throughout construction.

Staged Clearing

Will be utilized to reduce the amount of disturbed area during

Soil Stockpiles
Will be surrounded with silt fence.





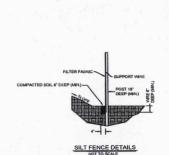


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UNION HOSPITAL PARKING

EROSION CONTROL PLAN DETAILS



Section 1 - Earthwork

Scope of work
 A) Extent The work required under this section consists of all excavating, filling, rough grading and related term necessary to complete the work indicated on the drawings and described in the specifications. The manufacture of the specification of the specif

- side. Eccavated maternal that is suitable may be used for fills. All unsuitable maternal and all surplus excevated maternal not required shall be removed from the use. The location of dump and length of haut shall be
- 2. Excavated material that is suitable may be used for fifth. All unstantials material and all surplus exceived material not required value for entered from the six. The location of dump and length or had shall be no contactor's responsibility.

 The contactor's responsibility is a suitable from the six of the six of the six of the record. The dischard from child all entered from off the six as expelve necessary to produce the gastes required. Fix obtained from childs shall be of sixed and quality as specified for fifth herein and the source approved by the owner.
 All the contactor of had accept the sixed as he finds a and shall remove all trait, rubban and delon from the

2. Bench marks

A) Mantani carefully all bench marks, monuments and other reference points, if disturbed or destroyed confiraction shall confact engineer & replace at confractors expense.

3. Topographical features
A) The integrity of the topographic features (including trees) shall be persevered as much as possible. The construction all contractor and contractor and conditional view owner another require

4. Handling of topsoil
A) Remove all organic material from the areas to be occupied by buildings, roads, walks and parking areas,
Ple and tote topsoid at a location where it will not interfere with construction operations. Any remaining
topsoil shall be reasonably free from subook, deform, weeds, great, shores, etc.
B) After completion of see garding and substantion (ably reliabilized, topsoil shall be replaced in areas
designated on the entouen control plan for seering analow southing. Any remaining topsoil shall be used for
firstanding passing aroand shurches are like individually as in the control plan for seering analow southing. Any remaining topsoil shall be used for
firstanding passing aroand shurches are like individually as in the control plan for seering and/or southing.

5. Disposition of utilities

A) Rules and regulations governing the respective unlines shall be observed in executing all work under this

B) If active utsides are encountered but not shown on the drawings, the engineer shall be advised before

work is continued.

C) inactive and abundanced visities encountered in excavating and greating operations shall be reported to the engineer. They shall be removed, plagged or capped as directed by the utility company or the engineer. O) it shall be the esponsible, of each contractor to verify all entiring utilities and conditions perstanning to their place of the work. It shall also be the contractor's responsiblely to contact the owners of the various utilities before work in started.

6. Bits greating A) Gloader: contractor shall perform all outsing, filing, compacting of fills and rough grading required to bring entire project area to grade as shown on the drawlogs. B) Rough packing the biolerance for period areas shall not exceed 0.04 feet plus or minus above the established subgrade. All other siness shall not exceed 0.10 feet plus or minus the established grade. All business and other because in grade shall be consided at the logs of bottom.

- caused and order treated in page areas of the comparison of the co

7. Earth work belance.
A) Alon Chris Egnoseing Consultants makes no warranty of any land, expressed or implied, with respect to the Labance of settlework quarteries within the construction limits of this project. An attimity was more to the classification of the control of the con

Section 2 - Streets/Parking Lot

1. Scope of work A) The work required under this section includes all concrete and bitummous paving and related sems necessary to complete the work indicated on the dewings and described in the specifications, including but not listed to the property of the property

to charmens and conserve sears.

B) in the case of any conflicts with these specifications and local, state, and federal specifications the more sampent shall apply.

2. Pavement construction A) All street construction shall be in accordance with the plans and specifications. If there are areas b) Fauliar powerful (CDF) clambiant specifications, bleet revision shall give in: B) Fauliar powerful. B) Mareasha A. General (use locally evaliable materials and grastions which exhibit a satisfactory record of previous

- installations.

 It Compacted aggregate base, sound, angular crushed limestone, crushed or uncrushed gravet, or crushed or processed air cooled blast furnace stag. Course aggregate shall be class a. Type "0" and conform to RNOT Standard specifications section 900.
- INDOT Standard specifications section 903, c. Base course aggregate. Sound, angular crushed stone, crushed or uncrushed gravet, or crushed stag, sand, stone, or stag screenings. Coarse aggregates shall be class A or B and conform to BuDOT Standard specifications section 903.
- Standard specifications section 903.

 Course apprehin for surface and binder matures: crushed stone, crushed previal crushed stable and sharp regide natural sand, Surface course apprepaires shall be class A and conform to RIDOT Standard specifications section 903.

 Annual crushed course programmed to RIDOT standard specifications section 903.

 Annual crushed previously of the RIDOT standard specifications section 903.

 Fines coal: reading crushed supplied supplied crushed course programmed previously graded apphalt crushed course programmed previously graded apphalt crushed crushed course programmed crushed course programmed course programmed crushed crushed crushed course programmed crushed crushed crushed crushed crushed crushed crush

- section 409.

 h, Lane marking paint: chlorinated rubber alkyd type, AASHTO m248 (Is tt-p-115), type iii.

Asphalt aggregate mixture A) All bituminous mixtures are to conform to current INDOT Specifications Surface course, hima surface 9.5mm Bituder course, hima sixtemediate 19.0mm

- 2. Girber course; type: hma base 25.0mm
 provided a job mix formula for each type of asphalt prior to the beginning of the construction project

4. Surface preparation

A) Remove loose material from compacted sub-base surface immediately before applying prime coal

- 1, Proof roll sub-grade surface with fully loaded tri-axle truck to check for unstable areas and areas
- 1, Priori rell qui-praée unifice with riley toleren traces une servem en servem en requiring addictions compaction. Condition. Die not legy propriet work until deficient sub-base avea 12 feeligt profitation of unasialations condition. Die not propriet average to the 19 Aggregate base enter placement good, rell'occeptated aggregate base surface to check for unisable area and seas requiring additional compaction. Die not begin paving work until deficient aggregate base 1, fledly contributed of unisalations conditions. Die not begin paving work until deficient aggregate base 2. Remove flosse malerial from compacted aggregate base surface immediately before applying prime cost

5, Placing the mix A) Per cuttent It IDOT Standards.

6. Rolling A) Per current INDOT Standards

7. Concrete mix.
A) All concrete shall be class a concrete and in accordance with section 702 of the faired BIDDT standards and specifications manual. All concrete shall contain an air entrained administer at the dosages specified by the latest BIDDT standards and specifications. All concrete shall have a minimum compresses strengt in 4000 put unless otherwise specified on plans, and shall be created and seaked per these specifications and per force of the property of the specifications and per force of the property of the pro

Traffic and lane markings
 Cleaning sweep and clean surface to eliminate loose material and dust.
 Striping: use chlorinated nubber base traffic lane-marking paint, factory mixed, quick-drying, and non-bleeding.

- 1. Color: yellow/white/blue
 a.Do not apply traffic and lane marking paint until layout and placement has been verified with
- architectiengineer.

 b. Apply paint with mechanical equipment to produce uniform straight edges. Apply in two coats at manufacturer's recommended rates.

- Field quality control
 A) Testing and inspection service
 Owner shall employ a testing laboratory to perform pavement testing and inspection service for quality.
- control during paving operations.

 2. Testing service shall have representative present to observe and perform tests at all times paving work is
- 2. Testing services shall have representative greater to observe and partner tests at at meap sharing work as progress.

 I. Test implace compacted bituminous apprepairs mix courses for compliance with requirements for brokeness, denirely and air vools and suffice smoothers. Repear or remove and replace unacceptable paving as decerted by engineer.

 C) Trikichiesis implace compacted trikinesis with not be acceptable if exceeding the following allowable

- () Trisciness in-place compacted thiscness will not be acceptable if exceeding the following aboveless instruction, consider the following aboveless instruction, and acceptable in the following aboveless in the following above acceptable in the following a
- areas.

 1 Feating, service shall submit certified results to the owner and architectivegineer within 12 hours after tests are made, with their comments and recommendations for action.

 2 Fewament when the last to comply with approved plom into formula shall be replaced as directed by the F) Surface smoothness test inhelmed surface for smoothness, using 10 supplied applied parallel with, and inpits angles to certefine of power area. Surface will not be acceptable of exceeding the following

- at right angles to certefine of paved sizes. Surface will not be acceptable if exceeding the following locarizates for transcribines.

 1. Aggregate base course surface. Not
 3. Newaring course surface. Not
 4. Check surfaced sizes all intervals as directed by resting service.

 G) Testing service surface. 1879 Intervals as directed by resting service.

 G) Testing service shall substitutine failed results to the owner and engineer within 72 hours after lost are made with these comments and recommendations for action.

 S. Euglegate shall be prepayed in sociotance with NIDOT standard specifications, section 207. No traffic shall be permitted in our prepayed subgrade prior to paveling.

 S. See size graduating underl' architect-fice control for additional compaction requirements.

16. Application
A) Chading do any necessary grading in addition to that performed in accordance with earthwork section to bring subgrades after final compaction, to the required grades and sections for site representation.

B) Preparation of subgrades after final compaction, to the required grades and sections for site representation.

B) Preparation of subgrades and representation of the section of the sect

Concrete curb

1. Expansion joints shall be 1/2 inch thick premoided at ends of all returns and at a maximum spacing of 2. Contraction joints unless otherwise provided, contraction joints shall be sawed joints spaced 25 feet on

center.

2. Finush tamp and surreed concrete as soon as placed, and fill any honey combed places. Finush square concretions 144 inch radius and other conners to radie thouse.

3. Slopes provide 14 inch per for cross slope unless otherwas noted on plans. Make adjustments on slopes at walk intersections as necessary to provide proper drainings.

5. Dimensions walke and stops that the one course controllation and of widths and details shown on the

a Unimisers: wasks and steps shall be one course construction and or worss and oretals shown on the drawings.

2. Finsh: screed concrete and trowed with a steel trowel to a hard dense surface after surface water has disappeared. Apply medium broom finish and scribe transverse joints at 5 foot spacing. Provide 1/2 inch espansion joints where sidewaks intersect and at a maximum spacing of 40 feet between expansion.

I Curing concrete for walks and curbs: except as otherwise specified, cure all concrete by one of the methods described in section 501.17 of the HIGOT Specifications, latest revision.

[3] Billimmon, Section 10.17 of the HIGOT Specifications, latest revision. 402 of the Linde L. Specification 10.17 of the Linde L. Sp

compacted sub-base. Along curbs, headers and walls and at all places not accessible to the roller, the appreciate makeral shall be lamped with mechanical lampers or with approved hand lampers.

1. Concrete import for the dashed stable be required as specified in the place and shall conform to current specifications established by the American distablished set (ADA), section 4.7. "Clust Plamps", 2. The concrete ramp shall be flush and free of abrupt changes with sub-walls, guiters or streets, and provide a maximum slope of 1.12.

3. The moments with of a concrete ramp shall be (40) inches exclusive of flated uides.



1 ST. IN 47804 TERRE HAUTE, II SECTION 18 WEST MERIDIAN, TERRE H





RECORD OWNER

PROJECT NUMBER DRAWN BY CHECKED BY APPROVED BY SCALE FRE HAME 24111_Cud.mg

UNION HOSPITAL PARKING

STANDARD SPECIFICATIONS